

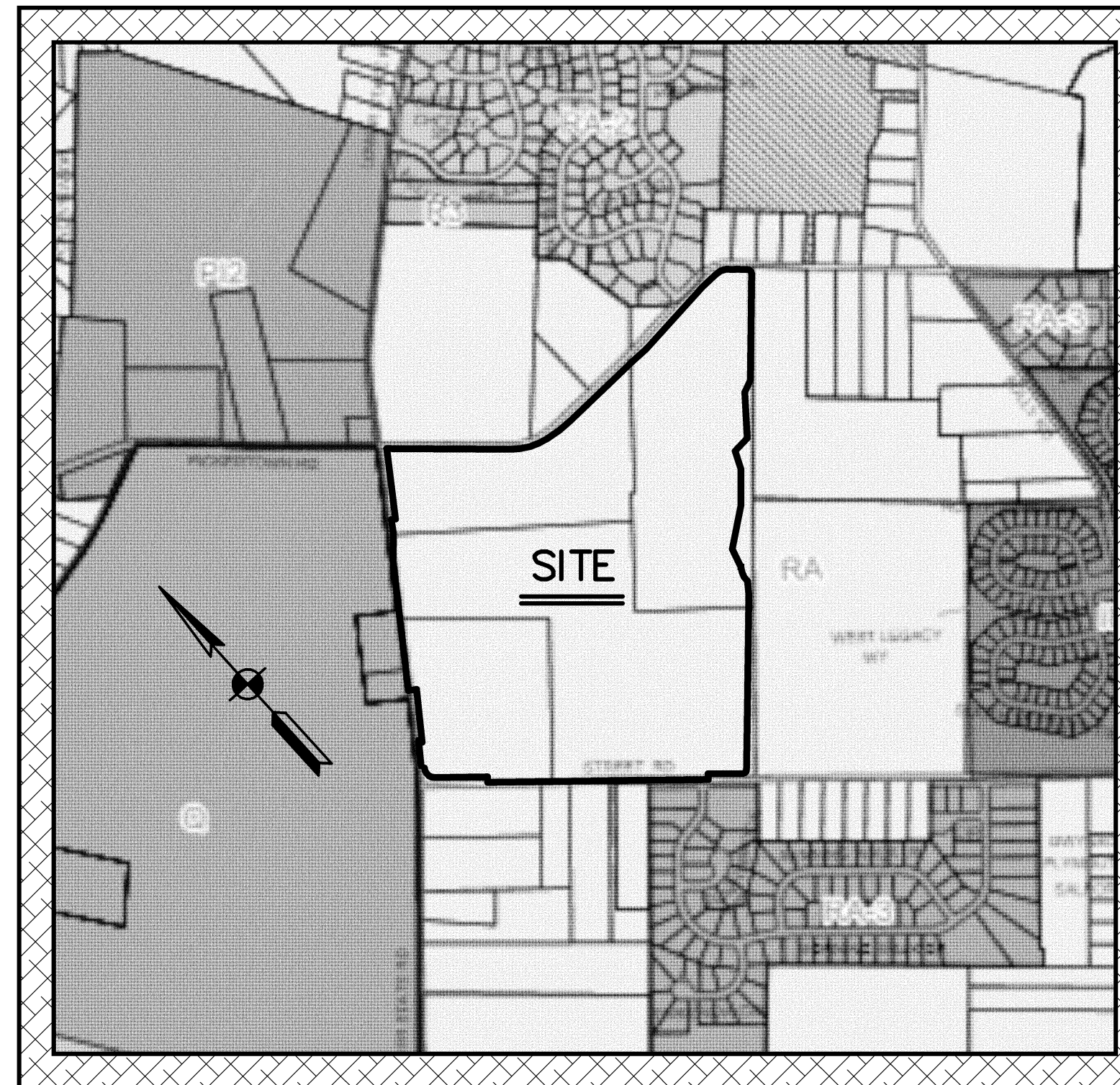
# PLANS OF SUBDIVISION OF THE EUREKA STONE QUARRY, INC. TRACT

EUREKA STONE QUARRY, INC (STA JOB #5707)

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SITE SITUATE IN WARRINGTON TOWNSHIP, BUCKS COUNTY



SITE LOCATION MAP 1" = 800'

## SITE STATISTICS

1. SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:

WARRINGTON TOWNSHIP  
A. PARID: 50-004-138  
B. PARID: 50-004-139  
C. PARID: 50-004-140  
D. PARID: 50-004-141

2. CURRENT RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNSYLVANIA IN:

A. DEED BOOK 1804, PAGE 0656  
B. DEED BOOK 2783, PAGE 0337  
C. DEED BOOK 1653, PAGE 0345  
D. DEED BOOK 0009, PAGE 2004

3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:

EUREKA STONE QUARRY, INC.  
9119 FRANKFORD AVENUE  
PHILADELPHIA, PA. 19114

4. AREA STATISTICS:

A. TRACT AREA = 17.16 AC. (TO TITLE LINES)  
B. TRACT AREA = 41.80 AC. (TO TITLE LINES)  
C. TRACT AREA = 18.06 AC. (TO TITLE LINES)  
D. TRACT AREA = 25.71 AC. (TO TITLE LINES)

TOTAL TRACT AREA = 102.73 AC. (TO TITLE LINES)

## ACT 121 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 9, 2008 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20182142724.

BUCKS COUNTY WATER AND SEWER AUTHORITY  
1276 SILKHOUSE RD  
WARRINGTON, PA. 18976  
JAMES HAPFELSON  
j.hapfelson@bcwsa.net

VERIZON PENNSYLVANIA LLC  
1050 VIRGINIA DR  
FORT WASHINGTON, PA. 19034  
LAURA LIPPINCOTT  
LAURA.LIPPINCOTT@ONE.VERIZON.COM

WARRINGTON TOWNSHIP  
852 EASTON RD  
WARRINGTON, PA. 18976  
RICK ZETLER  
rzetler@twesd.org  
PECO ENERGY C/O USIC  
450 S HENDERSON RD  
SUITE B  
KING OF PRUSSIA, PA.  
19406  
NIKOLA SIMPKINS@USICLLC.COM



### SUPPORTING DOCUMENTS SUBMITTED TO WARRINGTON TOWNSHIP:

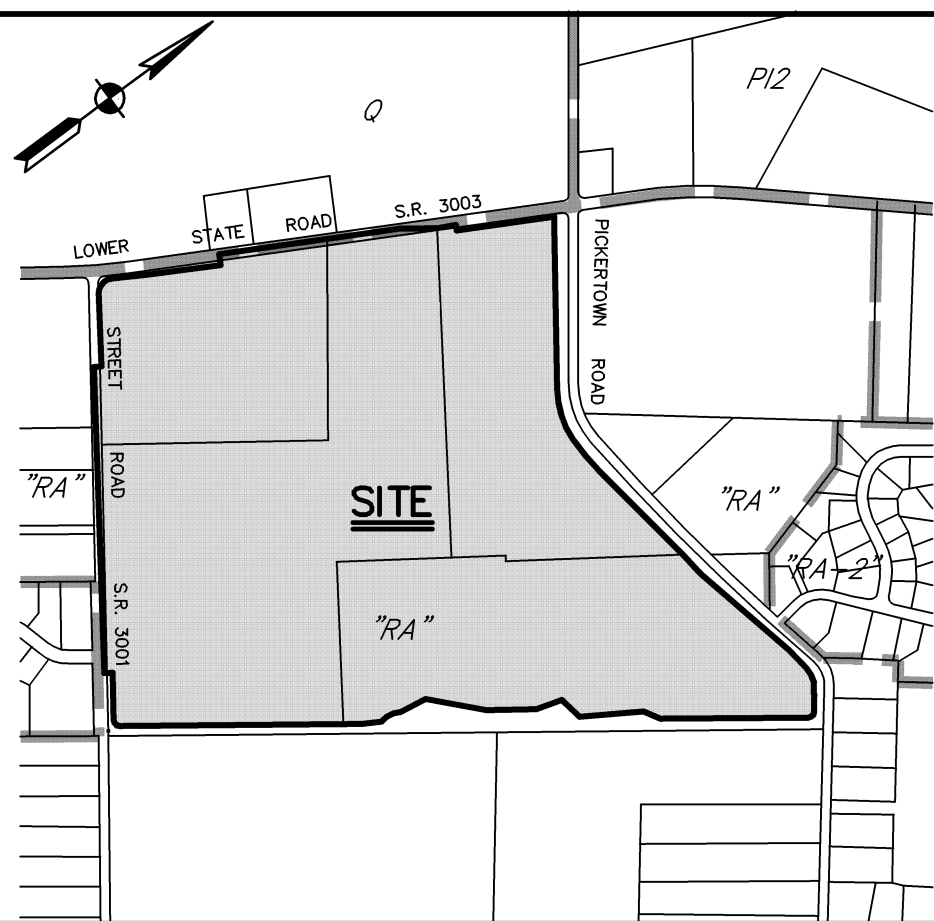
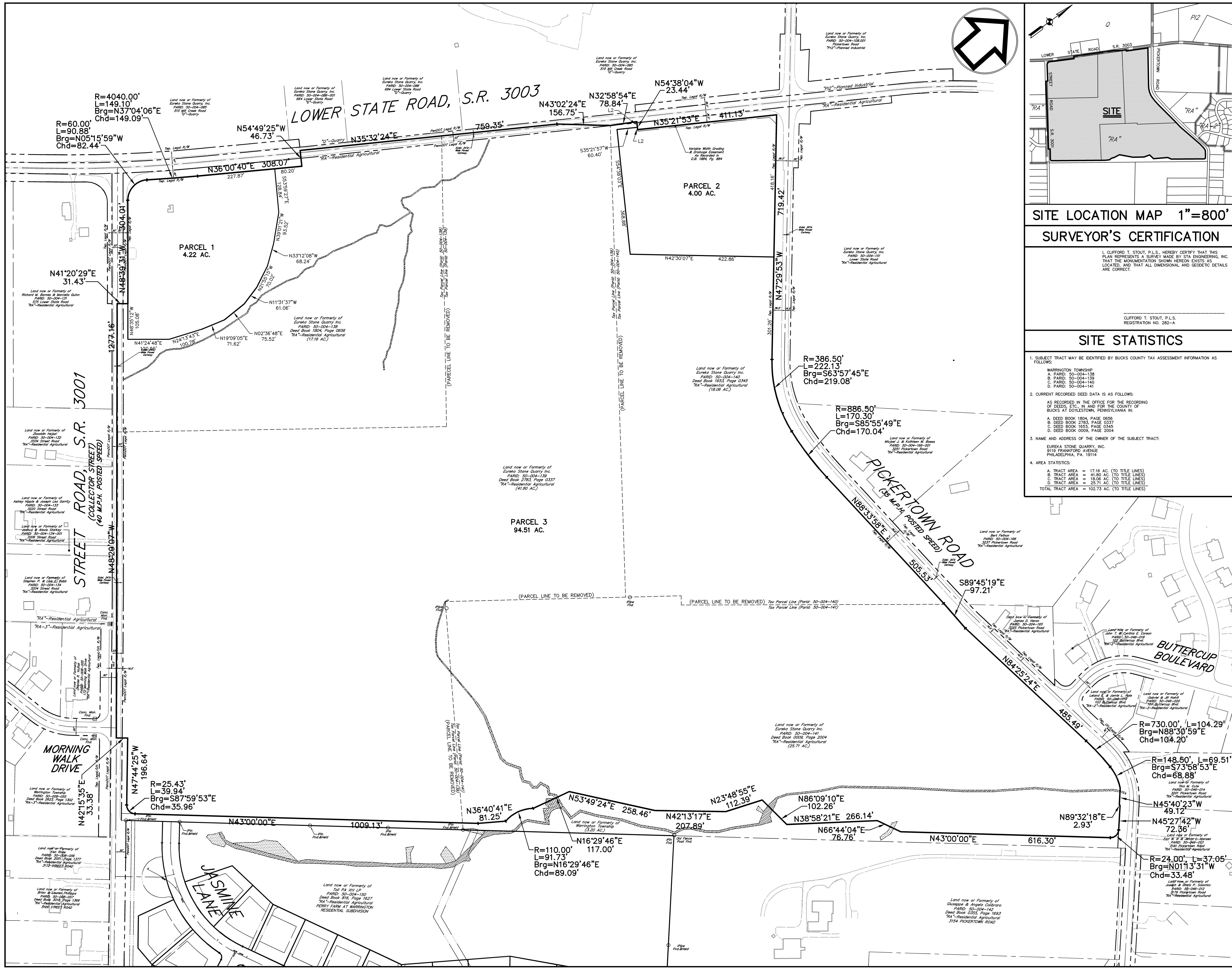
1	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN NARRATIVE	MAR. 4, 2019
2	EROSION AND SEDIMENT CONTROL PLAN NARRATIVE	MAR. 4, 2019
3	STORMWATER INFILTRATION REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC.	-
4	TRAFFIC IMPACT STUDY PREPARED BY McMAHON ASSOCIATES, INC.	-

### SUPPORTING DOCUMENTS SUBMITTED TO PENNDOT:

1	H.O.P. PLANS FOR STREET ROAD, S.R. 3001	
2	DRAWINGS FOR MAINTENANCE OF STORMWATER FACILITIES	
3	TRAFFIC IMPACT STUDY PREPARED BY McMAHON ASSOCIATES, INC.	
4	UTILITY H.O.P. PLANS FOR SANITARY SEWER EXTENSION	

**STA**  
Engineering, Inc.  
Civil Engineers • Land Surveyors  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotac.com





**SITE LOCATION MAP 1"=800'**

**SURVEYOR'S CERTIFICATION**

I, CLIFFORD T. STOUT, P.L.S., HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY STA ENGINEERING, INC. THAT THE MONUMENTATION SHOWN HEREON EXISTS AS LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

CLIFFORD T. STOUT, P.L.S.  
REGISTRATION NO. 282-A

**SITE STATISTICS**

- SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:  
WARRINGTON TOWNSHIP  
A. PARCEL: 50-004-139  
B. PARCEL: 50-004-139  
C. PARCEL: 50-004-140  
D. PARCEL: 50-004-141
- CURRENT RECORDED DEED DATA IS AS FOLLOWS:  
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNSYLVANIA, IN:  
A. DEED BOOK 1804, PAGE 0656  
B. DEED BOOK 2783, PAGE 0337  
C. DEED BOOK 1653, PAGE 0345  
D. DEED BOOK 0009, PAGE 2004
- NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:  
EUREKA STONE QUARRY, INC.  
919 FRANKFORD AVENUE  
PHILADELPHIA, PA. 19114
- AREA STATISTICS:  
A. TRACT AREA = 17.16 AC. (TO TITLE LINES)  
B. TRACT AREA = 41.80 AC. (TO TITLE LINES)  
C. TRACT AREA = 18.08 AC. (TO TITLE LINES)  
D. TRACT AREA = 25.71 AC. (TO TITLE LINES)  
TOTAL TRACT AREA = 102.73 AC. (TO TITLE LINES)

**RECORDING ACKNOWLEDGEMENTS**

OWNER'S CERTIFICATE OF INTENT  
KNOW ALL MEN BY THESE PRESENTS, THAT WE, DO HEREBY ADOPT THIS AS OUR PLAN OF PARCELS OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF WARRINGTON, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA. WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO HEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF WARRINGTON, THEIR SUCCESSORS, AND ASSIGNS, FROM ANY LIABILITY FOR DAMAGES, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE INDIVIDUALS HEREIN CONTAINED, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF PARCELS IN THIS PLAN.

EUREKA STONE QUARRY, INC.  
COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUCKS }  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED EUREKA STONE QUARRY, INC. WHO ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF PARCELS AND PROPERTY SHOWN HEREIN SITUATED IN THE TOWNSHIP OF WARRINGTON, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, AND DECLARED THAT THIS PLAN BE RECORDED ACCORDING TO LAW.  
WITNESS MY HAND AND NOTERIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC (SEAL)  
BOARD OF SUPERVISORS OF WARRINGTON TOWNSHIP  
THIS SUBDIVISION PLAN WAS APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF WARRINGTON TOWNSHIP ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

ATTEST: TOWNSHIP SECRETARY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

REVIEW BY THE BUCKS COUNTY PLANNING COMMISSION  
THIS SUBDIVISION PLAN WAS APPROVED BY THE BUCKS COUNTY PLANNING COMMISSION ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CHAIRMAN \_\_\_\_\_ DIRECTOR \_\_\_\_\_

CERTIFICATION FOR RECORDING  
THIS SUBDIVISION PLAN WAS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCKS COUNTY, AT DOYLESTOWN, PENNSYLVANIA, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_ RECORDER OF DEEDS

TOWNSHIP ENGINEER APPROVAL  
THIS SUBDIVISION PLAN WAS APPROVED BY THOMAS F. ZARKO, P.E., THE APPOINTED TOWNSHIP ENGINEER FOR WARRINGTON TOWNSHIP ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

THOMAS F. ZARKO, P.E.



NO.	INT.	REVISIONS	DATE
		PLAN ORIGINATION DATE	MAR. 4, 2019

**PARCEL PLAN**  
OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
SITE SITUATE IN  
WARRINGTON TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA

**STA**  
Engineering, Inc.  
Civil Engineers • Land Surveyors  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	A.C.H.	S.A.R.	1 OF 67
1"=125'	PROJECT NUMBER 5707	DRAWING FILE NUMBER 5707/PARCEL	



SITE STATISTICS	
1. SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:	
WARRINGTON TOWNSHIP PARISH: 50-004-138 A. PARISH: 50-004-139 B. PARISH: 50-004-140 C. PARISH: 50-004-141 D. PARISH: 50-004-142	
2. CURRENT RECORDED DEED DATA IS AS FOLLOWS:	
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNSYLVANIA IN:	
A. DEED BOOK 1804, PAGE 0606 B. DEED BOOK 2783, PAGE 0337 C. DEED BOOK 1653, PAGE 0345 D. DEED BOOK 0009, PAGE 2004	
3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:	
EUREKA STONE QUARRY, INC. 910 FRANKFORD AVENUE PHILADELPHIA, PA. 19114	
4. AREA STATISTICS:	
A. TRACT AREA =	17.16 AC. (TO TITLE LINES)
B. TRACT AREA =	41.80 AC. (TO TITLE LINES)
C. TRACT AREA =	18.08 AC. (TO TITLE LINES)
D. TRACT AREA =	25.71 AC. (TO TITLE LINES)
TOTAL TRACT AREA = 102.73 AC. (TO TITLE LINES)	
PROPOSED STREET LENGTHS	
ROAD 'A' -	3,144.68 FT.
ROAD 'B' -	808.00 FT.
ROAD 'C' -	1,387.24 FT.
ROAD 'D' -	256.00 FT.

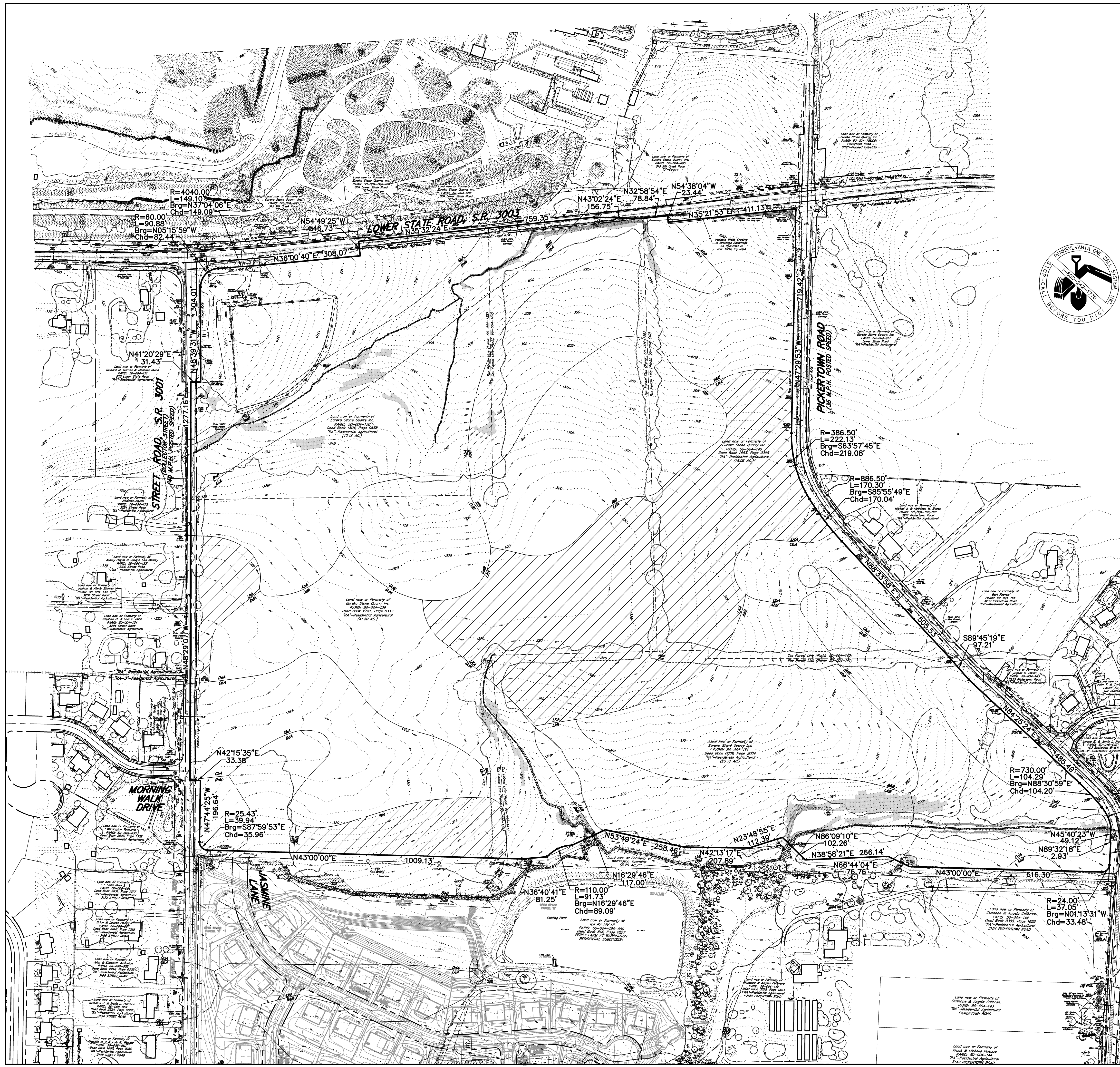
PROPERTY DATA	
TOTAL TRACT AREA (ORIGINAL TRACT):	105.68 AC
OUTPARCEL AREA-1:	4.22 AC
OUTPARCEL AREA-2:	4.00 AC
EXISTING R.O.W.:	0.99 AC
CONSERVATION DEVELOPMENT AREA:	0.71 AC
ULTIMATE R.O.W. DEDICATION:	95.76 AC
CONSERVATION AREA:	69.2 AC or 72%
DEVELOPMENT AREA:	26.58 AC
ENVIRONMENTAL DATA	
EXISTING WOODLAND AREA:	26.17 AC
REQUIRED 50% WOODLAND PRESERVATION:	13.09 AC
PRELIMINARY WOODLAND AREA:	22.46 AC
WETLAND AREA:	0.03 AC

DENSITY NOTES	
PERMITTED BASE DENSITY:	0.7 DU/ACRE or 67 DU
PERMITTED BONUS DENSITY:	
- TYPE-1 STREAM BUFFER BONUS:	0.18 DU/ACRE
100'-WIDE BUFFER IS PROPOSED ALONG EXISTING STREAMS AS SHOWN.	
- WOODLAND PRESERVATION BONUS:	0.12 DU
0.37 ACRES OF PRESERVED WOODLANDS OVER THE MINIMUM 50% REQUIREMENT IS PROPOSED. 9.37/3 X 0.04 DU = 0.12	
- 100' DEVELOPMENT AREA SEPARATION BONUS:	0.18 DU
DEVELOPMENT AREA IS SETBACK 100' FROM EXISTING RIGHTS OF WAY ALONG STREET, LOWER STATE & PICKERTOWN ROADS.	
- CONSERVATION AREA BONUS:	0.11 DU (72 % CONSERVATION AREA PROVIDED)
0.09 DU/5% OVER 65% REQUIREMENT = 0.016 DU/1%	
7% OVER 65% REQUIREMENT X 0.016 DU = 0.011 DU DENSITY BONUS	
PERMITTED BASE DENSITY:	0.70 DU
+ BONUS DENSITY:	0.59 DU
1.29 DU/ACRE or 124 TOTAL DWELLINGS	

ZONING DATA	
DATA OBTAINED FROM WARRINGTON TOWNSHIP ZONING ORDINANCE, CHAPTER 27, PART 4, ARTICLE A, SECTION 411:	
PRESENT: "RA" - RESIDENTIAL AGRICULTURAL, DISTRICT CONDITIONAL USE: CONSERVATION RESIDENTIAL DEVELOPMENT	
PROPOSED: 123 TOTAL SINGLE-FAMILY DWELLING UNITS (90 SINGLE-FAMILY ATTACHED DWELLINGS)	
CRITERIA:	PERMITTED/REQUIRED:
MAXIMUM AREA RATIO OF THE DEVELOPMENT AREA: (PERCENTAGE OF THE GROSS SITE AREA)	35 %
MINIMUM CONSERVATION AREA RATIO: (PERCENTAGE OF THE GROSS SITE AREA)	65 %
MINIMUM SITE AREA:	25 AC.
SINGLE-FAMILY DET. LOT AREA:	7,500 S.F.
ATTACHED DWELLING LOT AREA:	3,600 S.F.
FRONT YARD SETBACK:	20 FT.
SIDE YARD RESTRICTION:	10 FT.
REAR YARD RESTRICTION:	20 FT.
IMPERVIOUS COVERAGE:	80 %
* PER CONDITIONAL USE DECISION	

RECORDING NOTES	
1. BOUNDARY LINE AND ADJOINING PARCEL OWNERS TAKEN FROM EXISTING DEEDS AND PLANS OF RECORD AS WELL AS A BOUNDARY SURVEY PERFORMED BY S.T.A. ENGINEERING, INC. IN JUNE OF 2018.	
2. CONTOUR DATA AS SHOWN HEREON IS BASED ON N.A.V.D. OF 1988.	
BENCHMARK ELEVATION: 287.84	
BENCHMARK DESCRIPTION: PID KIV251A, USGS BENCHMARK DISK B 188 1142, N.A.V.D. 1988.	
STANDARD TOP. DISK OF CONCRETE POST, APPROX. 1.2 MILES NORTHWEST ALONG BLACK TOP ROAD NUMBER 540 FROM POST OFFICE AT MERRIMACK UNDER HIGH VOLTAGE POWER TOWER, APPROX. APPROX. 6.5 FEET NORTHWEST OF THE BASE OF THE SOUTHWEST CORNER OF TOWER, APPROX. 73 FEET NORTHWEST OF CENTELINE OF STREET ROAD BRIDGE, AND APPROX. 1 FOOT SOUTHWEST OF STANDARD REFERENCE POST.	
LOCAL BENCHMARK B: BENCHMARK ELEVATION: 325.66	
BENCHMARK DESCRIPTION: IRM OF SANITARY SEWER MANHOLE AT INTERSECTION OF MORNING WALK (N.W. INTERSECTION).	
LOCAL BENCHMARK C: BENCHMARK ELEVATION: 285.33	
BENCHMARK DESCRIPTION: IRM OF SANITARY SEWER MANHOLE LOCATED IN CENTERLINE OF BUTTERCUP BLVD., APPROXIMATELY 150 FT. FROM INTERSECTION OF BUTTERCUP BLVD. AND PICKERTOWN ROAD AT HOUSE #100.	
3. TOPOGRAPHIC DATA AS SHOWN HEREON GATHERED FROM A CURRENT FIELD SURVEY PERFORMED BY THIS OFFICE IN JUNE, 2018 AND AERIAL DATA PERFORMED BY COOPER AERIAL SURVEYS CO. IN JUNE, 2018.	
4. NO PART OF THIS PROPERTY LIES WITHIN A FLOODPLAIN AREA AS DESCRIBED ON PANEL 293 OF 532 OF THE FEMA FLOOD INSURANCE RATE MAP NUMBER 4207C0293 J, EFFECTIVE MARCH 16, 2015.	
5. THE LIMITS OF WETLANDS AND WATERS SHOWN HEREON ARE PLOTTED IN ACCORDANCE WITH A JD ISSUED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, WARRINGTON DISTRICT OF THE COMMONWEALTH OF PENNSYLVANIA, ON 09-08-2018-0110-095, AUG. 9, 2018. TAX PARCELS 50-004-138, 50-004-139, 50-004-140, 50-004-141, 50-004-142, 50-004-143, 50-004-144, 50-004-145, 50-004-146, 50-004-147, 50-004-148, 50-004-149, 50-004-150, 50-004-151, 50-004-152, 50-004-153, 50-004-154, 50-004-155, 50-004-156, 50-004-157, 50-004-158, 50-004-159, 50-004-160, 50-004-161, 50-004-162, 50-004-163, 50-004-164, 50-004-165, 50-004-166, 50-004-167, 50-004-168, 50-004-169, 50-004-170, 50-004-171, 50-004-172, 50-004-173, 50-004-174, 50-004-175, 50-004-176, 50-004-177, 50-004-178, 50-004-179, 50-004-180, 50-004-181, 50-004-182, 50-004-183, 50-004-184, 50-004-185, 50-004-186, 50-004-187, 50-004-188, 50-004-189, 50-004-190, 50-004-191, 50-004-192, 50-004-193, 50-004-194, 50-004-195, 50-004-196, 50-004-197, 50-004-198, 50-004-199, 50-004-200, 50-004-201, 50-004-202, 50-004-203, 50-004-204, 50-004-205, 50-004-206, 50-004-207, 50-004-208, 50-004-209, 50-004-210, 50-004-211, 50-004-212, 50-004-213, 50-004-214, 50-004-215, 50-004-216, 50-004-217, 50-004-218, 50-004-219, 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### NOTES

- BOUNDARY LINE AND ADJOINING PARCEL OWNERS TAKEN FROM EXISTING DEEDS AND PLANS OF RECORD AS WELL AS A BOUNDARY SURVEY PERFORMED BY S.T.A. ENGINEERING, INC. IN JUNE OF 2018.
- CONTOUR DATA AS SHOWN HEREON IS BASED ON N.A.V.D. OF 1988.  
BENCHMARK ELEVATION: 287.84  
BENCHMARK DESCRIPTION: PID KV2154, USGS BENCHMARK DISK B 188 1942, N.A.V.D. 1988.  
STANDARD DISK, TOP OF CONCRETE POST, APPROX. 1.2 MILES NORTHWEST ALONG BLACK TOP ROAD NUMBER 040 FROM POST OFFICE AT NESHAMINY, UNDER HIGH VOLTAGE POWER LINE TOWER, APPROX. 6.5 FEET NORTHEAST OF THE BASE OF THE SOUTHWEST CORNER OF TOWER, APPROX. 7.5 FEET NORTHEAST OF CENTERLINE OF STREET ROAD BRIDGE, AND APPROX. 1 FOOT SOUTHWEST OF STANDARD REFERENCE POST.  
LOCAL BENCHMARK A:  
BENCHMARK ELEVATION: 325.66  
BENCHMARK DESCRIPTION: RIM OF SANITARY SEWER MANHOLE AT INTERSECTION OF MORNING WALK DRIVE AND STREET ROAD (N.W. INTERSECTION).  
LOCAL BENCHMARK B:  
BENCHMARK ELEVATION: 285.33  
BENCHMARK DESCRIPTION: RIM OF SANITARY SEWER MANHOLE LOCATED IN CENTERLINE OF BUTTERCUP BLVD. APPROXIMATELY 150 FT. FROM INTERSECTION OF BUTTERCUP BLVD. AND PICKERTOWN ROAD AT HOUSE #102.
- TOPOGRAPHIC DATA AS SHOWN HEREON GATHERED FROM A CURRENT FIELD SURVEY PERFORMED BY THIS OFFICE IN JUNE, 2018 AND AERIAL DATA PERFORMED BY COOPER AERIAL SURVEYS CO. IN JUNE, 2018.
- NO PART OF THIS PROPERTY LIES WITHIN A FLOODPLAIN AREA AS DESCRIBED ON MAP 293 J OF 532 OF THE FEMA FLOOD INSURANCE RATE MAP NUMBER 42017 02923 J, EFFECTIVE MARCH 16, 2015.

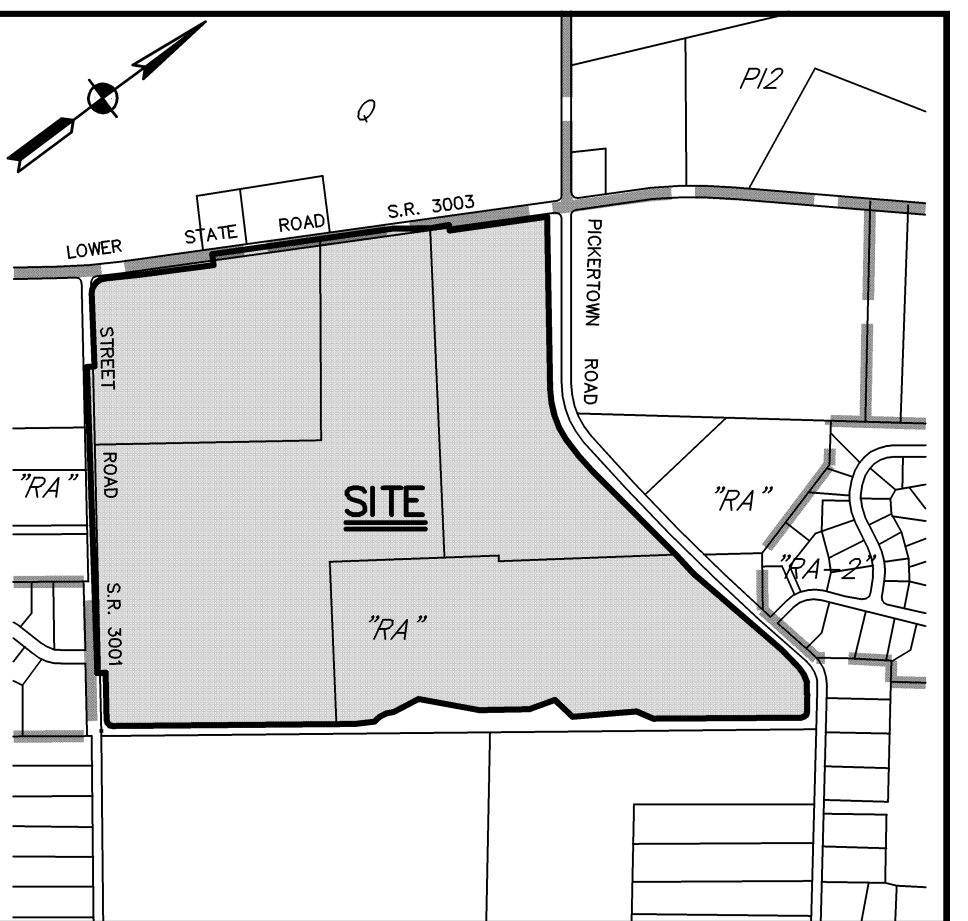
### ACT 121 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 9, 2008 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20182142724.

### LEGEND

	ADJOINING OWNERS
	ZONING LINES
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING CURB
	EXISTING EDGE OF ROAD
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING DRIVES
	EXISTING SOILS
	EXISTING TREE ROW
	EXISTING EASEMENT
	EXISTING STREAM BUFFER

	WETLANDS
	WATERS
	INDICATES 85%-15% SLOPE AREAS TOTAL AREA= 1.46 Ac.
	INDICATES 15%-25% SLOPE AREAS TOTAL AREA= 0.34 Ac.
	INDICATES 25% OR GREATER SLOPE AREAS TOTAL AREA= 0.18 Ac.
	PRIME AGRICULTURAL SOILS TOTAL AREA= 18.28 Ac.



SITE LOCATION MAP 1"=800'

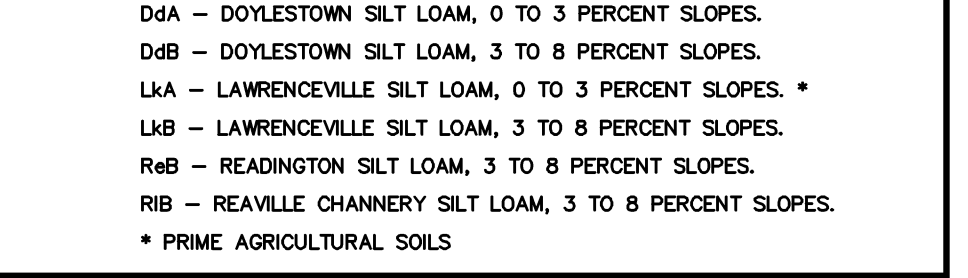
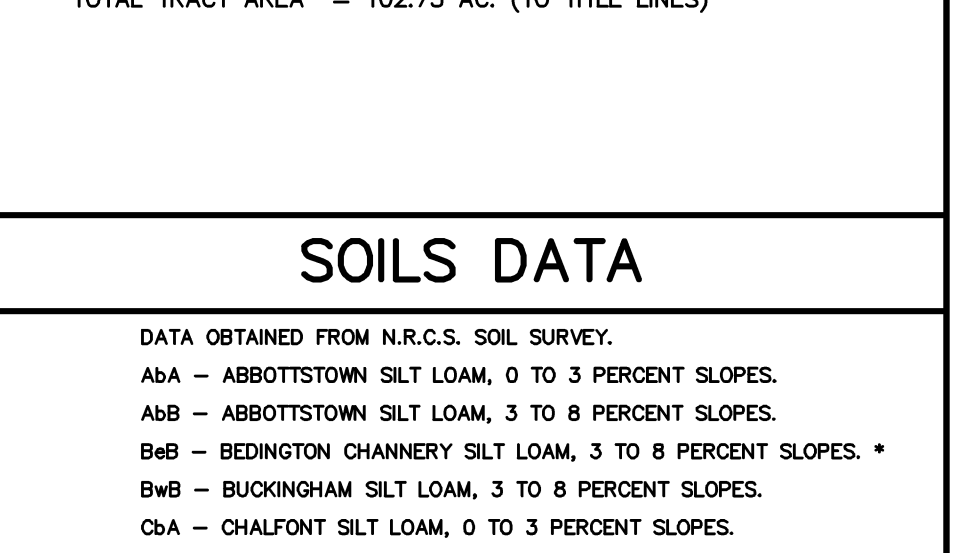
### SITE STATISTICS

- SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:  
WARRINGTON TOWNSHIP  
A. PARID: 50-004-138  
B. PARID: 50-004-139  
C. PARID: 50-004-140  
D. PARID: 50-004-141
- CURRENT RECORDED DEED DATA IS AS FOLLOWS:  
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNSYLVANIA IN:  
A. DEED BOOK 1804, PAGE 0656  
B. DEED BOOK 2783, PAGE 0337  
C. DEED BOOK 1653, PAGE 0345  
D. DEED BOOK 0009, PAGE 2004
- NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:  
EUREKA STONE QUARRY, INC.  
9119 FRANKFORD AVENUE  
PHILADELPHIA, PA. 19114
- AREA STATISTICS:  
A. TRACT AREA = 17.16 AC. (TO TITLE LINES)  
B. TRACT AREA = 41.80 AC. (TO TITLE LINES)  
C. TRACT AREA = 18.06 AC. (TO TITLE LINES)  
D. TRACT AREA = 25.71 AC. (TO TITLE LINES)  
TOTAL TRACT AREA = 102.73 AC. (TO TITLE LINES)

### SOILS DATA

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

- ABA - ABBOTTSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.
- ABB - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.
- BaB - BEDINGTON CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES.
- BwB - BUCKINGHAM SILT LOAM, 3 TO 8 PERCENT SLOPES.
- CA - CHALFONT SILT LOAM, 0 TO 3 PERCENT SLOPES.
- DA - DOYLESTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.
- DdB - DOYLESTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.
- LKA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LkB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- RaB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES.
- RiB - REAVILLE CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES.
- \* PRIME AGRICULTURAL SOILS



1 JAC S.T.A. PLAN ORIGINATION DATE MAR. 4, 2019

### EXISTING FEATURES/RESOURCES PLAN

OF THE  
**EUREKA STONE QUARRY, INC. TRACT**

PREPARED FOR  
WARRINGTON TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA

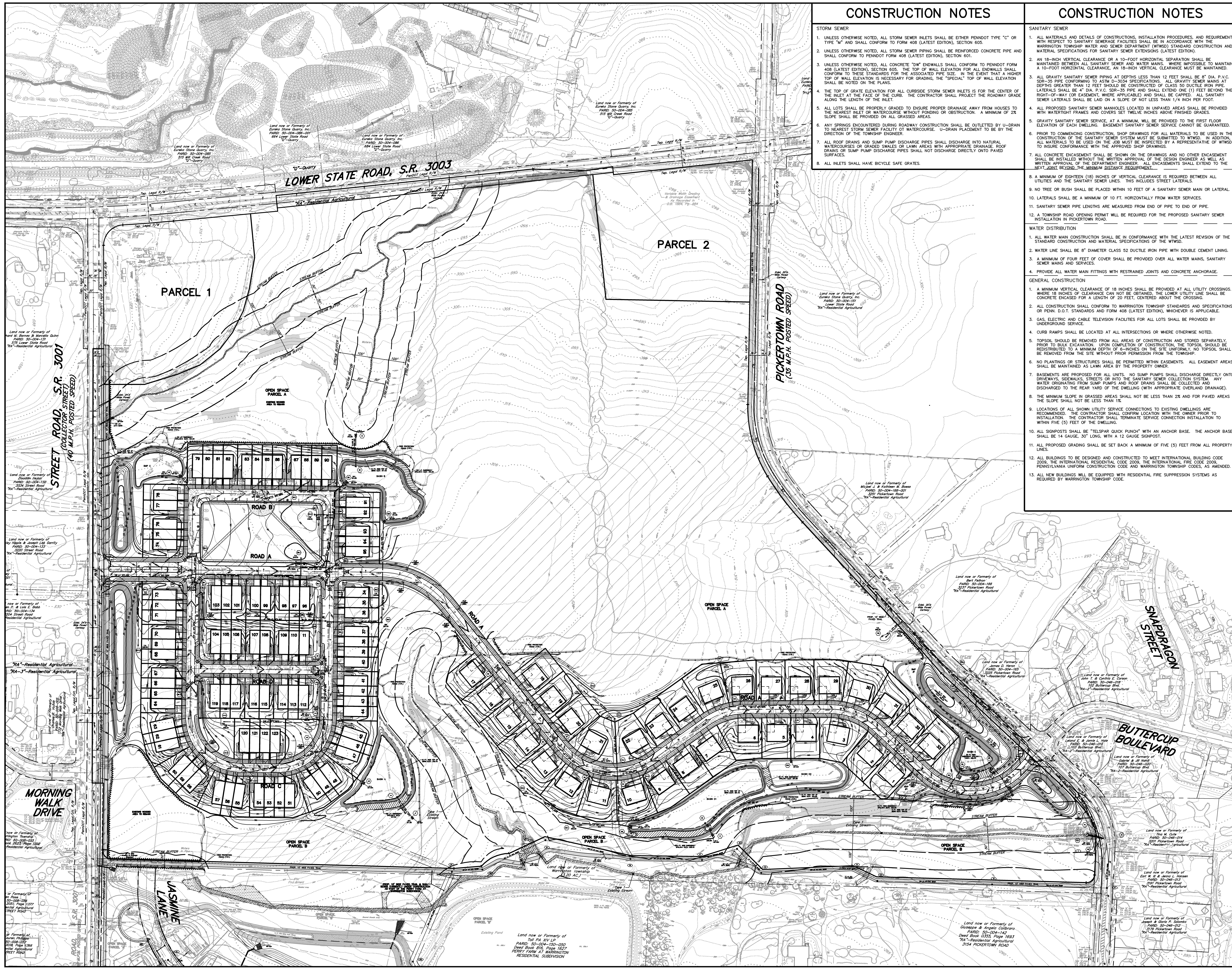
**S T A**  
Engineering, Inc.

**Civil Engineers • Land Surveyors**

2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotac.com

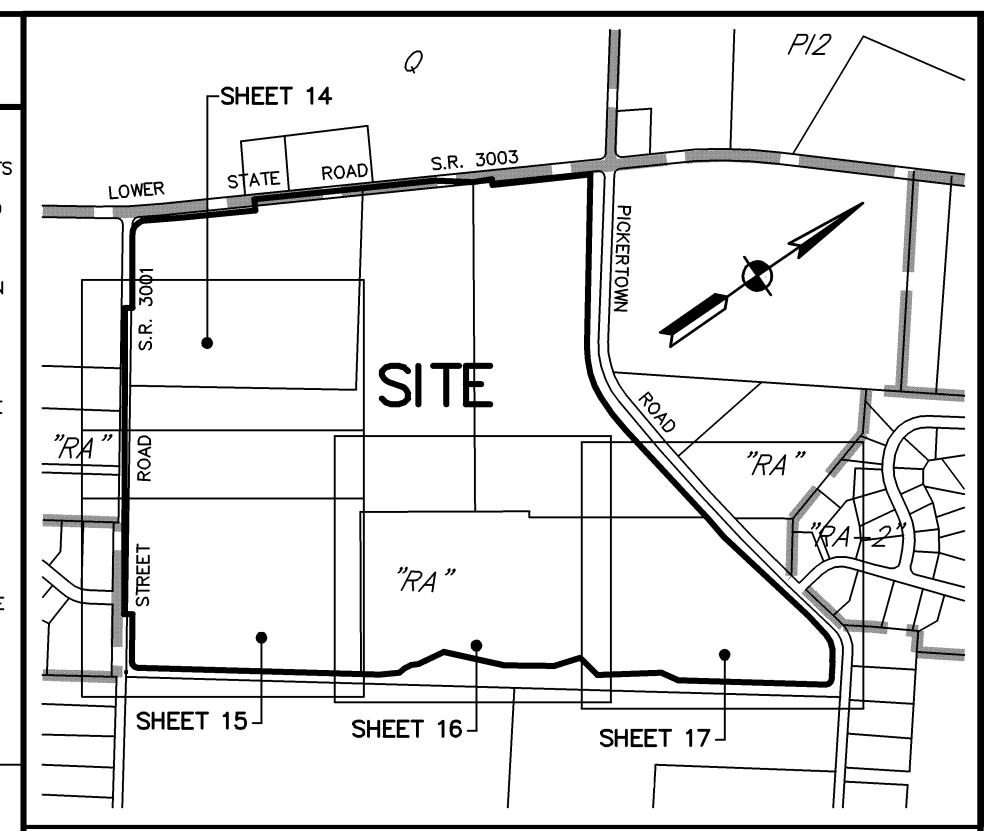
PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	J.A.C.	M.E.T.	
1"=150'	PROJECT NUMBER	DRAWING FILE NUMBER	
	5707	5707EF	7 OF 67





- ### CONSTRUCTION NOTES
- STORM SEWER**
- UNLESS OTHERWISE NOTED, ALL STORM SEWER INLETS SHALL BE EITHER PENDDOT TYPE "C" OR TYPE "M" AND SHALL CONFORM TO FORM 408 (LATEST EDITION), SECTION 605.
  - UNLESS OTHERWISE NOTED, ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE AND SHALL CONFORM TO PENDDOT FORM 408 (LATEST EDITION), SECTION 601.
  - UNLESS OTHERWISE NOTED, ALL CONCRETE "TOW" ENDWALLS SHALL CONFORM TO PENDDOT FORM 408 (LATEST EDITION), SECTION 605. THE TOP OF WALL ELEVATION FOR ALL ENDWALLS SHALL CONFORM TO THESE STANDARDS FOR THE ASSOCIATED PIPE SIZE. IN THE EVENT THAT A HIGHER TOP OF WALL ELEVATION IS NECESSARY FOR GRADING, THE "SPECIAL" TOP OF WALL ELEVATION SHALL BE NOTED ON THE PLANS.
  - THE TOP OF GRATE ELEVATION FOR ALL CURBSIDE STORM SEWER INLETS IS FOR THE CENTER OF THE INLET AT THE FACE OF THE CURB. THE CONTRACTOR SHALL PROJECT THE ROADWAY GRADE ALONG THE LENGTH OF THE INLET.
  - ALL LOTS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE AWAY FROM HOUSES TO THE NEAREST INLET OR WATERCOURSE WITHOUT POONDING OR OBSTRUCTION. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED ON ALL GRASSED AREAS.
  - ANY SPRINGS ENCOUNTERED DURING ROADWAY CONSTRUCTION SHALL BE OULLETED BY U-DRAIN TO NEAREST STORM SEWER FACILITY OF WATERCOURSE. U-DRAIN PLACEMENT TO BE BY THE DIRECTION OF THE TOWNSHIP ENGINEER.
  - ALL ROOF DRAINS AND SUMP PUMP DISCHARGE PIPES SHALL DISCHARGE INTO NATURAL WATERCOURSES OR GRADED SWALES OR LAWN AREAS WITH APPROPRIATE DRAINAGE. ROOF DRAINS OR SUMP PUMP DISCHARGE PIPES SHALL NOT DISCHARGE DIRECTLY ONTO PAVED SURFACES.
  - ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.

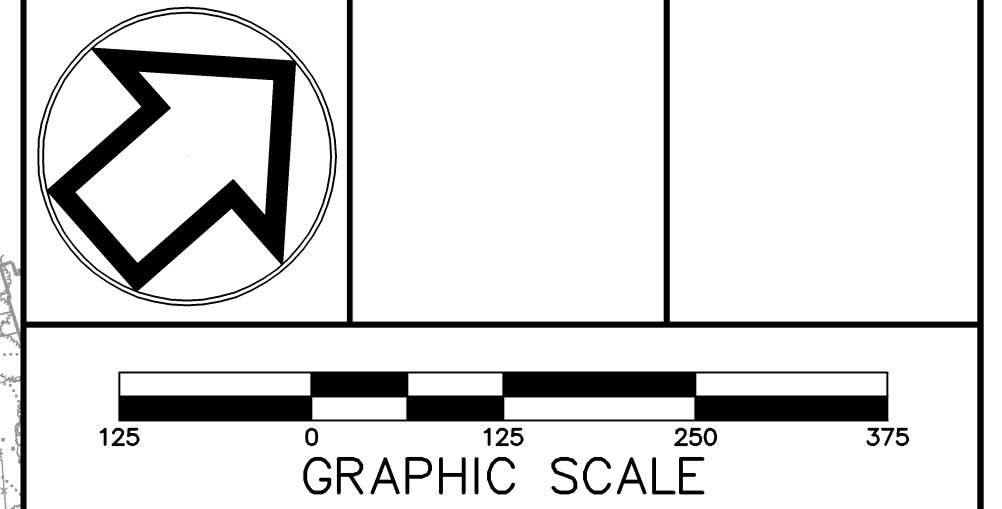
- ### CONSTRUCTION NOTES
- SANITARY SEWER**
- ALL MATERIALS AND DETAILS OF CONSTRUCTIONS, INSTALLATION PROCEDURES, AND REQUIREMENTS WITH RESPECT TO SANITARY SEWER FACILITIES SHALL BE IN ACCORDANCE WITH THE WARRINGTON TOWNSHIP WATER AND SEWER DEPARTMENT (WTRWD) STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS (LATEST EDITION).
  - AN 18-INCH VERTICAL CLEARANCE OR A 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER MAINS WHERE POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE. AN 18-INCH VERTICAL CLEARANCE SHALL BE MAINTAINED.
  - ALL GRAVITY SANITARY SEWER PIPING AT DEPTHS LESS THAN 12 FEET SHALL BE 8" DIA. P.V.C. SDR-35 PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS. ALL GRAVITY SEWER MAINS AT DEPTHS GREATER THAN 12 FEET SHALL BE 12" DIA. P.V.C. SDR-35 PIPE AND SHALL EXTEND ONE (1) FEET BEYOND THE RIGHT-OF-WAY (OR EASEMENT, WHERE APPLICABLE) AND BE CAPPIED. ALL SANITARY SEWER LATERALS SHALL BE Laid ON A SLOPE OF NOT LESS THAN 1/4" PER FOOT.
  - ALL PROPOSED SANITARY SEWER MANHOLES LOCATED IN UNPAVED AREAS SHALL BE PROVIDED WITH WATERTIGHT FRAMES AND COVERS SET TWELVE INCHES ABOVE FINISHED GRADES.
  - GRAVITY SANITARY SEWER SERVICE, AT A MINIMUM, WILL BE PROVIDED TO THE FIRST FLOOR ELEVATION OF EACH DWELLING. BASEMENT SANITARY SEWER SERVICE CANNOT BE GUARANTEED.
  - PRIOR TO COMMENCING CONSTRUCTION, SHOP DRAWINGS FOR ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM MUST BE SUBMITTED TO WTRWD. IN ADDITION, ALL MATERIALS TO BE USED ON THE JOB MUST BE INSPECTED BY A REPRESENTATIVE OF WTRWD TO INSURE CONFORMANCE WITH THE APPROVED SHOP DRAWINGS.
  - ALL CONCRETE ENCASEMENT SHALL BE SHOWN ON THE DRAWINGS AND NO OTHER ENCASEMENT SHALL BE INSTALLED WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AS WELL AS WRITTEN APPROVAL OF THE DEPARTMENT ENGINEER. ENCASEMENTS SHALL EXTEND TO THE NEXT JOINT BEYOND THE MINIMUM DISTANCE REQUIREMENT.
  - A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL CLEARANCE IS REQUIRED BETWEEN ALL UTILITIES AND THE SANITARY SEWER LINES. THIS INCLUDES STREET LATERALS.
  - NO TREE OR BUSH SHALL BE PLACED WITHIN 10 FEET OF A SANITARY SEWER MAIN OR LATERAL.
  - LATERALS SHALL BE A MINIMUM OF 10 FT. HORIZONTALLY FROM WATER SERVICES.
  - SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM END OF PIPE TO END OF PIPE.
  - A TOWNSHIP ROAD OPENING PERMIT WILL BE REQUIRED FOR THE PROPOSED SANITARY SEWER INSTALLATION IN PICKERTOWN ROAD.
- WATER DISTRIBUTION**
- ALL WATER MAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST REVISION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE WTRWD.
  - WATER LINE SHALL BE 8" DIAMETER CLASS 52 DUCTILE IRON PIPE WITH DOUBLE CEMENT LINING.
  - A MINIMUM OF FOUR FEET OF COVER SHALL BE PROVIDED OVER ALL WATER MAINS, SANITARY SEWER MAINS AND SERVICES.
  - PROVIDE ALL WATER MAIN FITTINGS WITH RESTRAINED JOINTS AND CONCRETE ANCHORAGE.
- GENERAL CONSTRUCTION**
- A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. WHERE 18 INCHES OF CLEARANCE CAN NOT BE OBTAINED, THE LOWER UTILITY LINE SHALL BE CONCRETE ENCASED FOR A LENGTH OF 20 FEET, CENTERED ABOUT THE CROSSING.
  - ALL CONSTRUCTION SHALL CONFORM TO WARRINGTON TOWNSHIP STANDARDS AND SPECIFICATIONS OR PENN. D.O.T. STANDARDS AND FORM 408 (LATEST EDITION), WHICHEVER IS APPLICABLE.
  - GAS, ELECTRIC AND CABLE TELEVISION FACILITIES FOR ALL LOTS SHALL BE PROVIDED BY UNDERGROUND SERVICES.
  - CURB RAMPS SHALL BE LOCATED AT ALL INTERSECTIONS OR WHERE OTHERWISE NEEDED.
  - TOPSOIL SHOULD BE REMOVED FROM ALL AREAS OF CONSTRUCTION AND STORED SEPARATELY. PRIOR TO BULK EXCAVATION, UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHOULD BE REDISTRIBUTED TO A MINIMUM DEPTH OF 4-INCHES ON THE SITE UNIFORMLY. NO TOPSOIL SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR PERMISSION FROM THE TOWNSHIP.
  - NO PLANTINGS OR STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS. ALL EASEMENT AREAS SHALL BE MAINTAINED AS LAWN AREA BY THE PROPERTY OWNER.
  - BASEMENTS ARE PROPOSED FOR ALL UNITS. NO SUMP PUMPS SHALL DISCHARGE DIRECTLY ONTO DRAINWAYS, SIDEWALKS, STREETS OR INTO THE SANITARY SEWER COLLECTION SYSTEM. ANY WATER ORIGINATING FROM SUMP PUMPS AND ROOF DRAINS SHALL BE COLLECTED AND DISCHARGED TO THE REAR YARD OF THE DWELLING (WITH APPROPRIATE OVERLAND DRAINAGE).
  - THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND FOR PAVED AREAS THE SLOPE SHALL NOT BE LESS THAN 1%.
  - LOCATIONS OF ALL SHOWN UTILITY SERVICE CONNECTIONS TO EXISTING DWELLINGS ARE RECOMMENDED. THE CONTRACTOR SHALL CONFIRM LOCATION WITH THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL TERMINATE SERVICE CONNECTION INSTALLATION TO WITHIN FIVE (5) FEET OF THE DWELLING.
  - ALL SIGNPOSTS SHALL BE "TELSPAR QUICK PUNCH" WITH AN ANCHOR BASE. THE ANCHOR BASE SHALL BE 14 GAUGE, 30" LONG, WITH A 12 GAUGE SIGNPOST.
  - ALL PROPOSED GRADING SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL PROPERTY LINES.
  - ALL BUILDINGS TO BE DESIGNED AND CONSTRUCTED TO MEET INTERNATIONAL BUILDING CODE 2009, THE INTERNATIONAL RESIDENTIAL CODE 2009, THE INTERNATIONAL FIRE CODE 2009, PENNSYLVANIA UNIFORM CONSTRUCTION CODE AND WARRINGTON TOWNSHIP CODES, AS AMENDED.
  - ALL NEW BUILDINGS WILL BE EQUIPPED WITH RESIDENTIAL FIRE SUPPRESSION SYSTEMS AS REQUIRED BY WARRINGTON TOWNSHIP CODE.



### KEY MAP 1"=800'

### LEGEND

PROPOSED WATER SERVICE	W
PROPOSED SANITARY LATERAL	L
PROPOSED STORM SEWER	SS
PROPOSED TREE ROW	(Symbol)
PROPOSED CURB	(Symbol)
PROPOSED EDGE OF ROAD	(Symbol)
PROPOSED EASEMENT	(Symbol)
PROPOSED RIGHT-OF-WAY	(Symbol)
PROPOSED CENTERLINE	(Symbol)
PROPOSED CONCRETE WALKWAY	(Symbol)
PROPOSED CONTOUR (MAJOR)	290
PROPOSED CONTOUR (MINOR)	292
PROPOSED IRON PIN	(Symbol)
PROPOSED CONCRETE MONUMENT	(Symbol)
ADJOINING OWNERS	(Symbol)
SETBACK LINES	(Symbol)
ZONING LINES	(Symbol)



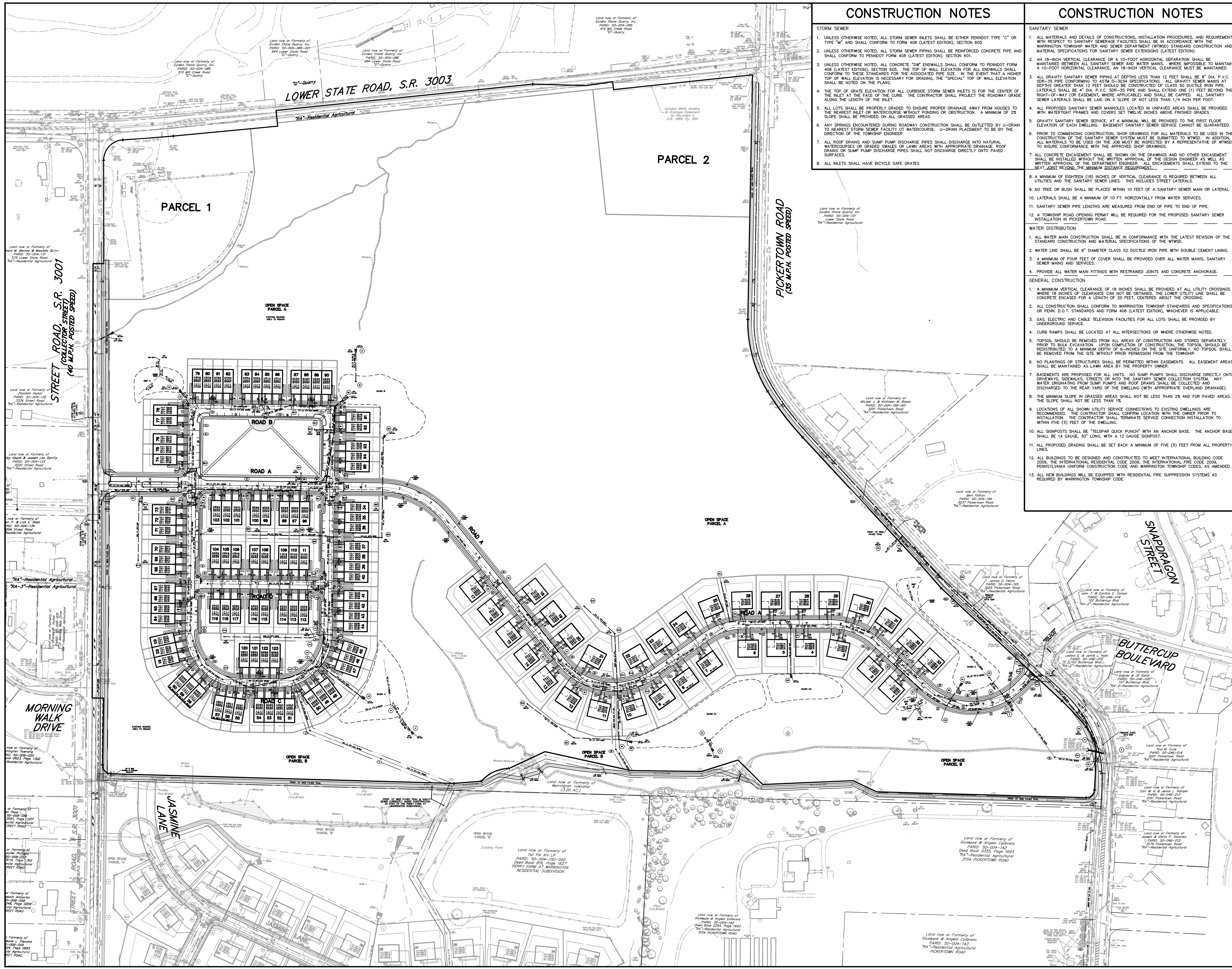
No.	INT.	REVISIONS	DATE
		PLAN ORIGINATION DATE	MAR. 4, 2019

**OVERALL CONSTRUCTION IMPROVEMENT PLAN**  
 OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
 SITE SITUATE IN  
 WARRINGTON TOWNSHIP  
 BUCKS COUNTY, PENNSYLVANIA

**STATA**  
 Engineering, Inc.  
 Civil Engineers • Land Surveyors  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.statac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=125'	A.C.H.	S.A.R.	13 OF 67
HORIZONTAL	PROJECT NUMBER	DRAWING FILE NUMBER	
	5707	5707CI	





### CONSTRUCTION NOTES

**STORM SEWER**

- UNLESS OTHERWISE NOTED, ALL STORM SEWER INLETS SHALL BE EITHER PENDDOT TYPE "C" OR TYPE "M" AND SHALL CONFORM TO FORM 408 (LATEST EDITION), SECTION 605.
- UNLESS OTHERWISE NOTED, ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE AND SHALL CONFORM TO PENDDOT FORM 408 (LATEST EDITION), SECTION 601.
- UNLESS OTHERWISE NOTED, ALL CONCRETE "TOW" ENDOVALS SHALL CONFORM TO PENDDOT FORM 408 (LATEST EDITION), SECTION 605. THE TOP OF WALL ELEVATION FOR ALL ENDOVALS SHALL CONFORM TO THESE STANDARDS FOR THE ASSOCIATED PIPE SIZE. IN THE EVENT THAT A HIGHER TOP OF WALL ELEVATION IS NECESSARY FOR GRADING, THE "SPECIAL" TOP OF WALL ELEVATION SHALL BE NOTED ON THE PLANS.
- THE TOP OF GRATE ELEVATION FOR ALL CURBSIDE STORM SEWER INLETS IS FOR THE CENTER OF THE INLET AT THE FACE OF THE CURB. THE CONTRACTOR SHALL PROJECT THE ROADWAY GRADE ALONG THE LENGTH OF THE INLET.
- ALL LOTS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE AWAY FROM HOUSES TO THE NEAREST INLET OR WATERCOURSE, WITHOUT POONDING OR OBSTRUCTION. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED ON ALL GRASED AREAS.
- ANY SPRINGS ENCOUNTERED DURING ROADWAY CONSTRUCTION SHALL BE OULETTED BY U-DRAIN TO NEAREST STORM SEWER FACILITY OF WATERCOURSE. U-DRAIN PLACEMENT TO BE BY THE DIRECTION OF THE TOWNSHIP ENGINEER.
- ALL ROOF DRAINS AND SUMP PUMP DISCHARGE PIPES SHALL DISCHARGE INTO NATURAL WATERCOURSES OR GRADED SWALES OR LAWN AREAS WITH APPROPRIATE DRAINAGE, ROOF DRAINS OR SUMP PUMP DISCHARGE PIPES SHALL NOT DISCHARGE DIRECTLY ONTO PAVED SURFACES.
- ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.

### CONSTRUCTION NOTES

**SANITARY SEWER**

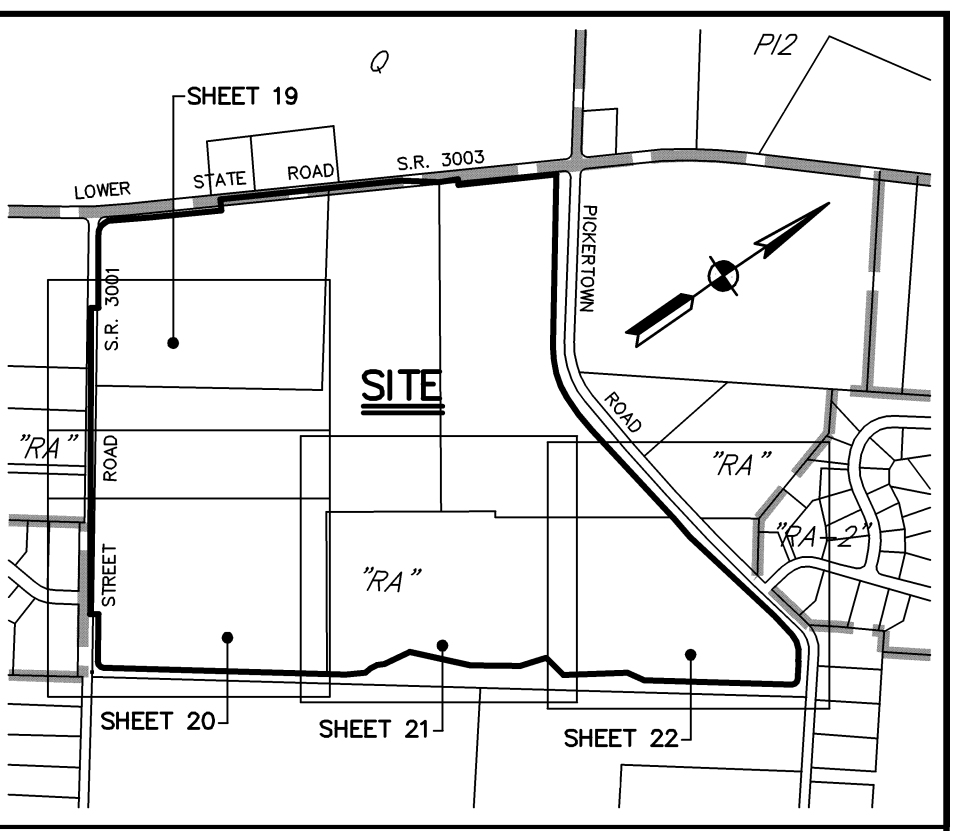
- ALL MATERIALS AND DETAILS OF CONSTRUCTIONS, INSTALLATION PROCEDURES, AND REQUIREMENTS WITH RESPECT TO SANITARY SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE WARRINGTON TOWNSHIP WATER AND SEWER DEPARTMENT (WISD) STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS (LATEST EDITION).
- AN 18-INCH VERTICAL CLEARANCE OR A 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER MAINS WHERE IMPOSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION, AN 18-INCH VERTICAL CLEARANCE MUST BE MAINTAINED.
- ALL GRAVITY SANITARY SEWER PIPING AT DEPTHS LESS THAN 12 FEET SHALL BE 8" DIA. P.V.C. SDR-35 PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS. ALL GRAVITY SEWER MAINS AT DEPTHS GREATER THAN 12 FEET SHALL BE CONSTRUCTED OF CLASS 50 DUCTILE IRON PIPE. LATERALS SHALL BE 4" DIA. P.V.C. SDR-35 PIPE AND SHALL EXTEND ONE (1) FEET BEYOND THE RIGHT-OF-WAY (OR EASEMENT, WHERE APPLICABLE) AND SHALL BE CAPPED. ALL SANITARY SEWER LATERALS SHALL BE LAID ON A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT.
- ALL PROPOSED SANITARY SEWER MANHOLES LOCATED IN UNPAVED AREAS SHALL BE PROVIDED WITH WATERHIGHT FRAMES AND COVERS SET TWELVE INCHES ABOVE FINISHED GRADES.
- GRAVITY SANITARY SEWER SERVICE, AT A MINIMUM, WILL BE PROVIDED TO THE FIRST FLOOR ELEVATION OF EACH DWELLING. BASEMENT SANITARY SEWER SERVICE CANNOT BE GUARANTEED.
- PRIOR TO COMMENCING CONSTRUCTION, SHOP DRAWINGS FOR ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM MUST BE SUBMITTED TO WISD. IN ADDITION, ALL MATERIALS TO BE USED ON THE JOB MUST BE INSPECTED BY A REPRESENTATIVE OF WISD TO INSURE CONFORMANCE WITH THE APPROVED SHOP DRAWINGS.
- ALL CONCRETE ENCASUREMENT SHALL BE SHOWN ON THE DRAWINGS AND NO OTHER ENCASUREMENT SHALL BE INSTALLED WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AS WELL AS WRITTEN APPROVAL OF THE DEPARTMENT ENGINEER. ALL ENCASUREMENTS SHALL EXTEND TO THE JOINT BEYOND THE MINIMUM DISTANCE REQUIREMENT.
- A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL CLEARANCE IS REQUIRED BETWEEN ALL UTILITIES AND THE SANITARY SEWER LINES. THIS INCLUDES STREET LATERALS.
- NO TREE OR BUSH SHALL BE PLACED WITHIN 10 FEET OF A SANITARY SEWER MAIN OR LATERAL.
- LATERALS SHALL BE A MINIMUM OF 10 FT. HORIZONTALLY FROM WATER SERVICES.
- SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM END OF PIPE TO END OF PIPE.
- A TOWNSHIP ROAD OPENING PERMIT WILL BE REQUIRED FOR THE PROPOSED SANITARY SEWER INSTALLATION IN PICKERTOWN ROAD.

**WATER DISTRIBUTION**

- ALL WATER MAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST REVISION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE WISD.
- WATER LINE SHALL BE 8" DIAMETER CLASS 52 DUCTILE IRON PIPE WITH DOUBLE CEMENT LINING.
- A MINIMUM OF FOUR FEET OF COVER SHALL BE PROVIDED OVER ALL WATER MAINS, SANITARY SEWER MAINS AND SERVICES.
- PROVIDE ALL WATER MAIN FITTINGS WITH RESTRAINED JOINTS AND CONCRETE ANCHORAGE.

**GENERAL CONSTRUCTION**

- A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. WHERE 18 INCHES OF CLEARANCE CAN NOT BE OBTAINED, THE LOWER UTILITY LINE SHALL BE CONCRETE ENCASED FOR A LENGTH OF 20 FEET, CENTERED ABOUT THE CROSSING.
- ALL CONSTRUCTION SHALL CONFORM TO WARRINGTON TOWNSHIP STANDARDS AND SPECIFICATIONS OR PENN. D.O.T. STANDARDS AND FORM 408 (LATEST EDITION), WHICHEVER IS APPLICABLE.
- GAS, ELECTRIC AND CABLE TELEVISION FACILITIES FOR ALL LOTS SHALL BE PROVIDED BY UNDERGROUND SERVICE.
- CURB RAMPS SHALL BE LOCATED AT ALL INTERSECTIONS OR WHERE OTHERWISE NOTED.
- TOPSOIL SHOULD BE REMOVED FROM ALL AREAS OF CONSTRUCTION AND STORED SEPARATELY. PRIOR TO BULK EXCAVATION, UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHOULD BE REDISTRIBUTED TO A MINIMUM DEPTH OF 4-INCHES ON THE SITE UNIFORMLY. NO TOPSOIL SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR PERMISSION FROM THE TOWNSHIP.
- NO PLANTINGS OR STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS. ALL EASEMENT AREAS SHALL BE MAINTAINED AS LAWN AREA BY THE PROPERTY OWNER.
- BASEMENTS ARE PROPOSED FOR ALL UNITS. NO SUMP PUMPS SHALL DISCHARGE DIRECTLY ONTO DRIVEWAYS, SIDEWALKS, STREETS OR INTO THE SANITARY SEWER COLLECTION SYSTEM. ANY WATER ORIGINATING FROM SUMP PUMPS AND ROOF DRAINS SHALL BE COLLECTED AND DISCHARGED TO THE REAR YARD OF THE DWELLING (WITH APPROPRIATE OVERLAND DRAINAGE).
- THE MINIMUM SLOPE IN GRASED AREAS SHALL NOT BE LESS THAN 2% AND FOR PAVED AREAS THE SLOPE SHALL NOT BE LESS THAN 1%.
- LOCATIONS OF ALL SHOWN UTILITY SERVICE CONNECTIONS TO EXISTING DWELLINGS ARE RECOMMENDED. THE CONTRACTOR SHALL CONFIRM LOCATION WITH THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL TERMINATE SERVICE CONNECTION INSTALLATION TO WITHIN FIVE (5) FEET OF THE DWELLING.
- ALL SLOPES SHALL BE "TELSPAR QUICK PUNCH" WITH AN ANCHOR BASE. THE ANCHOR BASE SHALL BE 14 GAUGE, 30" LONG, WITH A 12 GAUGE SLOPES.
- ALL PROPOSED GRADING SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL PROPERTY LINES.
- ALL BUILDINGS TO BE DESIGNED AND CONSTRUCTED TO MEET INTERNATIONAL BUILDING CODE 2009, THE INTERNATIONAL RESIDENTIAL CODE 2009, THE INTERNATIONAL FIRE CODE 2009, PENNSYLVANIA UNIFORM CONSTRUCTION CODE AND WARRINGTON TOWNSHIP CODES, AS AMENDED.
- ALL NEW BUILDINGS WILL BE EQUIPPED WITH RESIDENTIAL FIRE SUPPRESSION SYSTEMS AS REQUIRED BY WARRINGTON TOWNSHIP CODE.



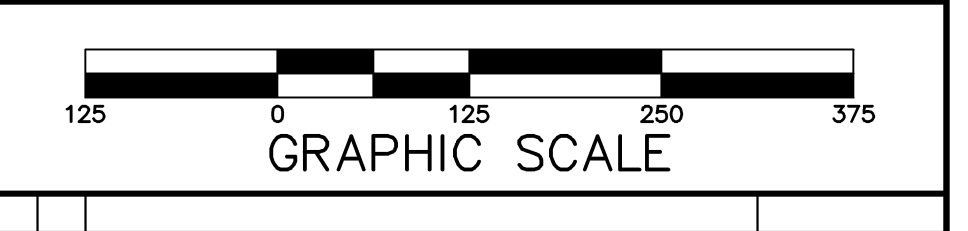
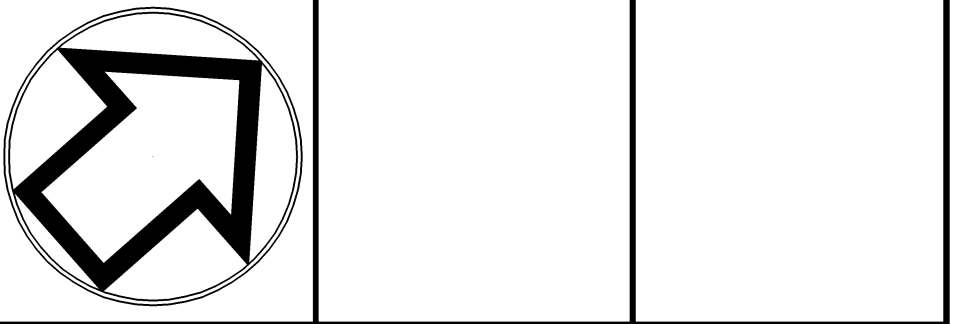
**KEY MAP 1"=800'**

### LEGEND

PROPOSED WATER SERVICE	W
PROPOSED SANITARY LATERAL	L
PROPOSED STORM SEWER	SS
PROPOSED CURB	C
PROPOSED EDGE OF ROAD	ER
PROPOSED EASEMENT	E
PROPOSED RIGHT-OF-WAY	R
PROPOSED CENTERLINE	CL
PROPOSED CONCRETE WALKWAY	WC
PROPOSED CONTOUR (MAJOR)	290
PROPOSED CONTOUR (MINOR)	292
ADJOINING OWNERS	AO
SETBACK LINES	SL
ZONING LINES	ZL

### WATER SYMBOL LEGEND

1 8" 45' BEND	3 8" 11 1/2' BEND	5 6" FIRE HYDRANT
2 8" 22 1/2' BEND	4 8" TEE	



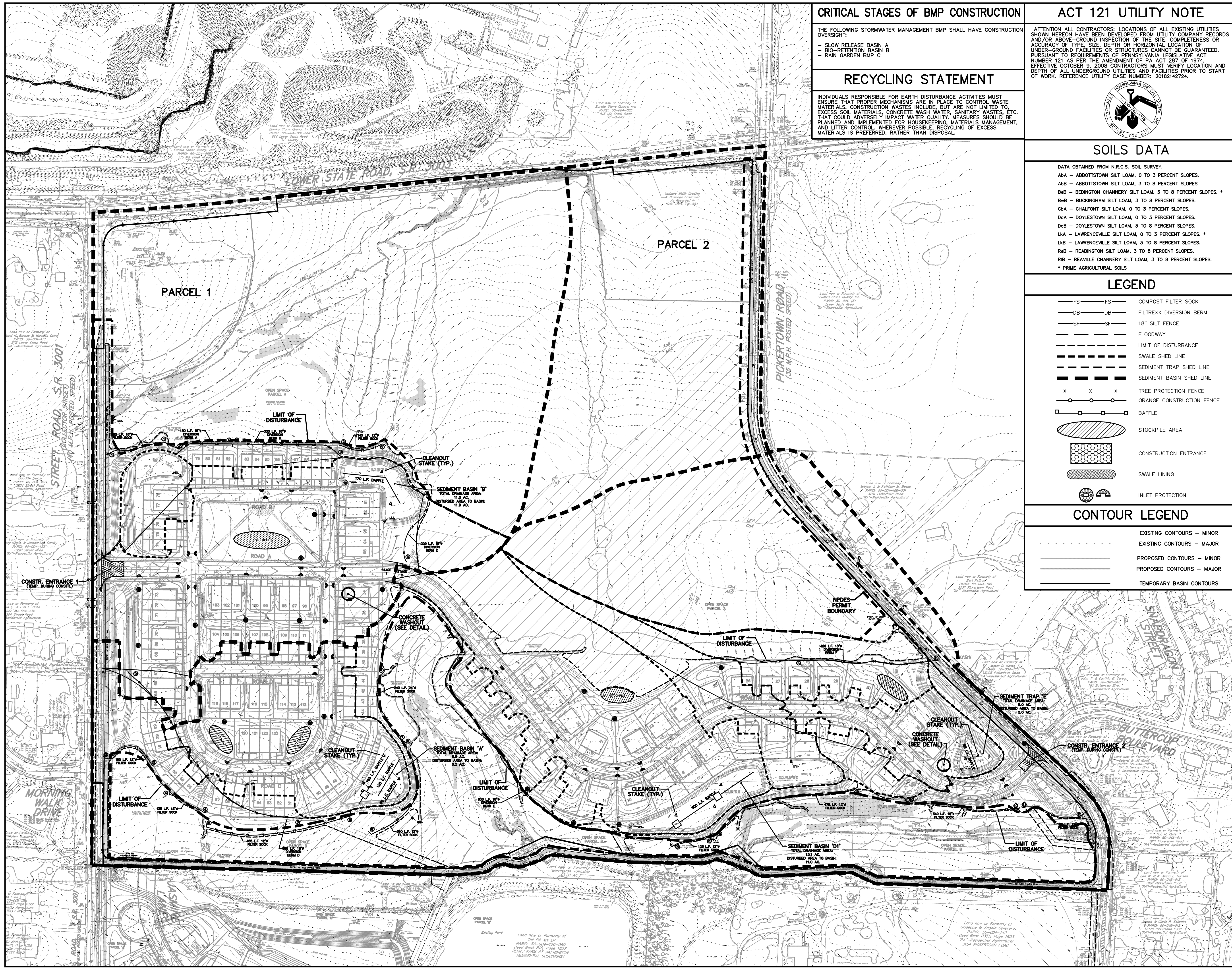
No.	INT.	REVISIONS	DATE
		PLAN ORIGINATION DATE	MAR. 4, 2019

**OVERALL UTILITY PLAN**  
OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
SITE SITUATE IN  
WARRINGTON TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA

**STA**  
Engineering, Inc.  
**Civil Engineers • Land Surveyors**  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=125'	A.C.H.	S.A.R.	18 OF 67
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5707	5707UT	





**CRITICAL STAGES OF BMP CONSTRUCTION**

THE FOLLOWING STORMWATER MANAGEMENT BMP SHALL HAVE CONSTRUCTION OVERSIGHT:  
 - SLOW RELEASE BASIN A  
 - BIO-RETENTION BASIN B  
 - RAIN GARDEN BMP C

**RECYCLING STATEMENT**

INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

**ACT 121 UTILITY NOTE**

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 637 OF 1974 EFFECTIVE OCTOBER 9, 2008 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20182142724.



**SOILS DATA**

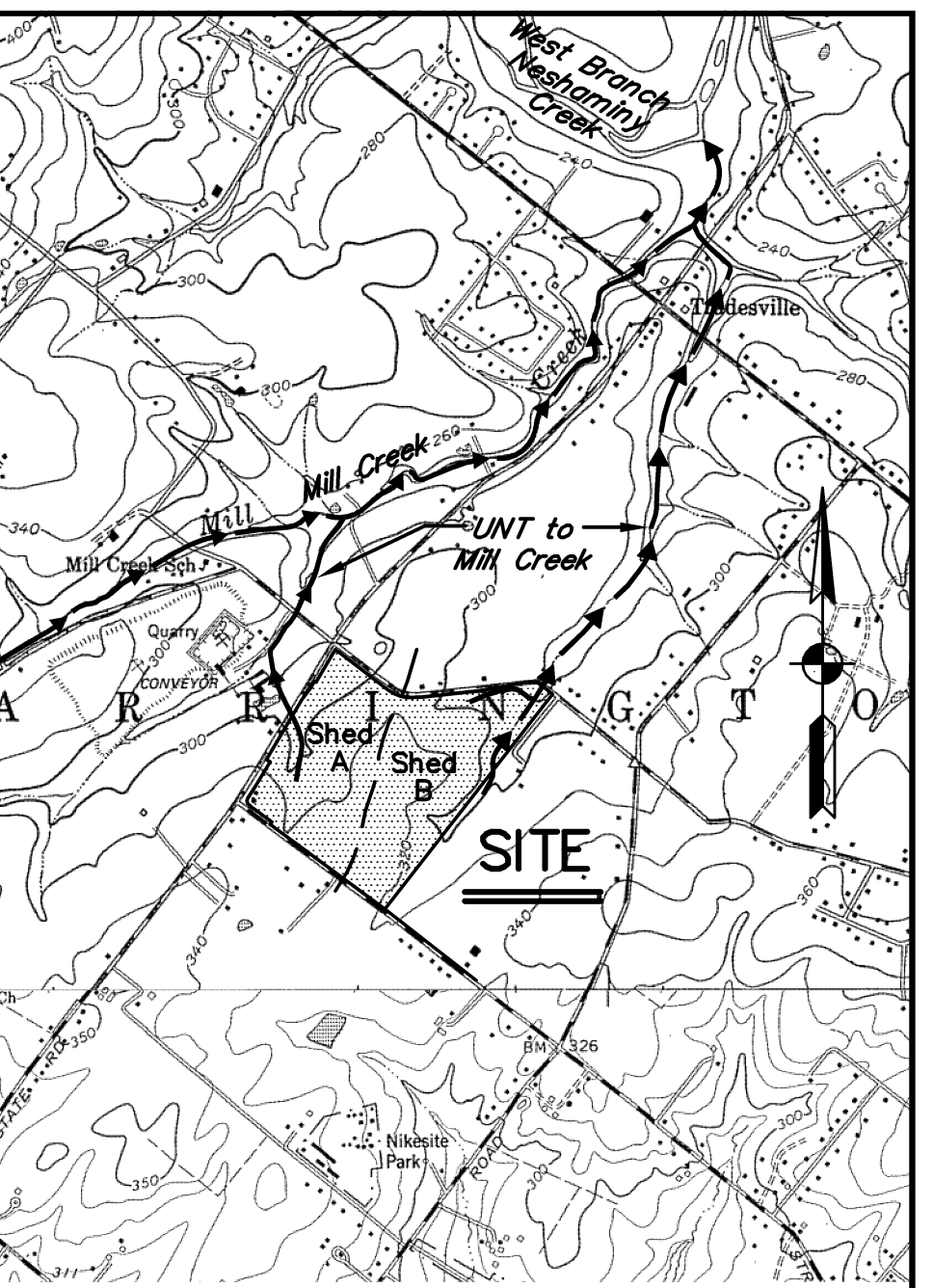
DATA OBTAINED FROM N.R.C.S. SOIL SURVEY:  
 A6A - ABBOTTSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 A6B - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 B6B - BEDINGTON CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES. \*  
 B6C - BUCKINGHAM SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 C6A - CHALFONT SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 D6A - DOYLESTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 D6B - DOYLESTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 L6A - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES. \*  
 L6B - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 R6B - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 R6C - REAVILLE CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 \* PRIME AGRICULTURAL SOILS

**LEGEND**

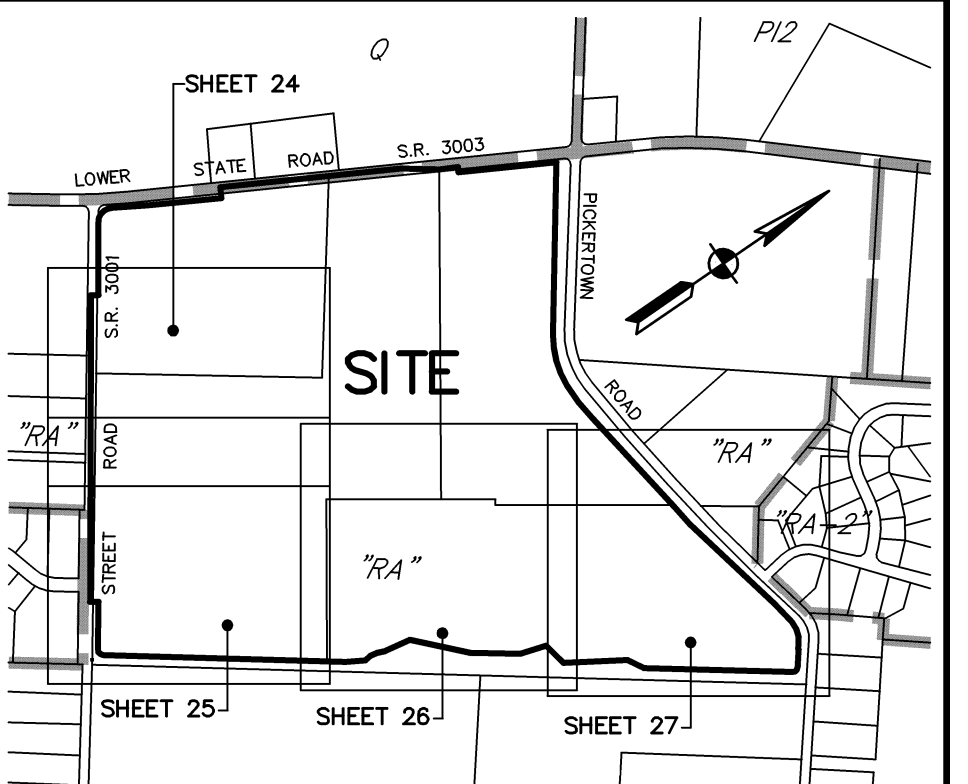
- FS FS COMPOST FILTER SOCK
- DB DB FILTEREX DIVERSION BERM
- SF SF 18" SILT FENCE
- FLOODWAY
- LIMIT OF DISTURBANCE
- SWALE SHED LINE
- SEDIMENT TRAP SHED LINE
- SEDIMENT BASIN SHED LINE
- X X TREE PROTECTION FENCE
- ORANGE CONSTRUCTION FENCE
- BAFFLE
- STOCKPILE AREA
- CONSTRUCTION ENTRANCE
- SWALE LINING
- INLET PROTECTION

**CONTOUR LEGEND**

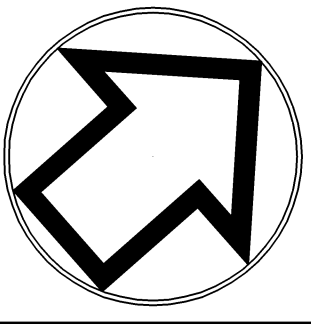
- EXISTING CONTOURS - MINOR
- EXISTING CONTOURS - MAJOR
- PROPOSED CONTOURS - MINOR
- PROPOSED CONTOURS - MAJOR
- TEMPORARY BASIN CONTOURS



SHED A: UNIT TO MILL CREEK IS THE RECEIVING WATERCOURSE IN THE NESHAMINY CREEK WATERSHED. THE CHAPTER 93 CLASSIFICATION IS TSF/MF.  
 SHED B: UNIT TO MILL CREEK IS THE RECEIVING WATERCOURSE IN THE NESHAMINY CREEK WATERSHED. THE CHAPTER 93 CLASSIFICATION IS TSF/MF.  
 SCALE: 1"=2000'



**KEY MAP 1"=800'**



No.	INT.	REVISIONS	DATE
		PLAN ORIGINATION DATE	MAR. 4, 2019

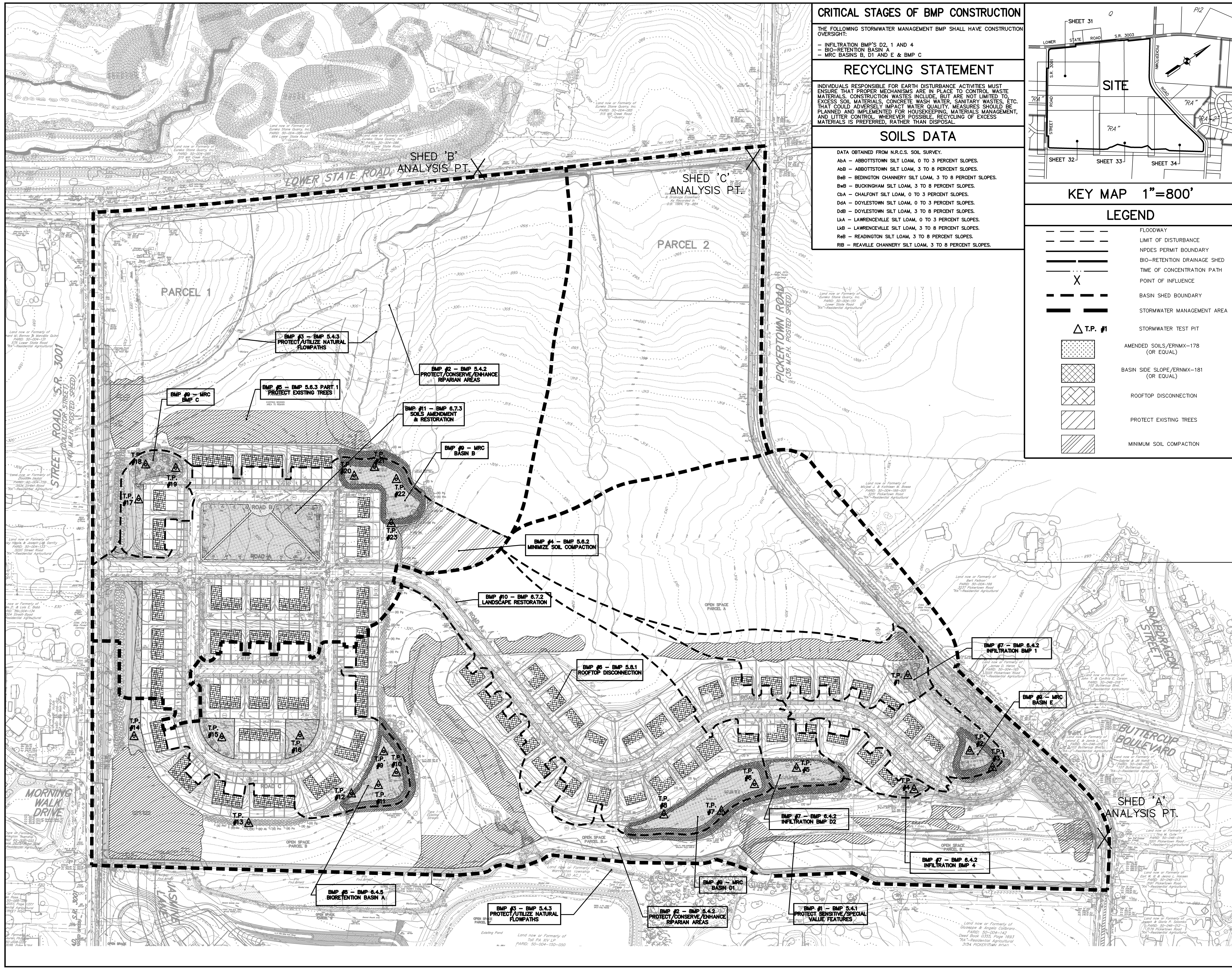
**OVERALL EROSION AND SEDIMENT CONTROL PLAN**  
 OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
 SITE SITUATE IN  
 WARRINGTON TOWNSHIP  
 BUCKS COUNTY, PENNSYLVANIA



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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	A.C.H.	S.A.R.	
1"=125'	PROJECT NUMBER	DRAWING FILE NUMBER	
	5707	5707ES	23 OF 67





**CRITICAL STAGES OF BMP CONSTRUCTION**

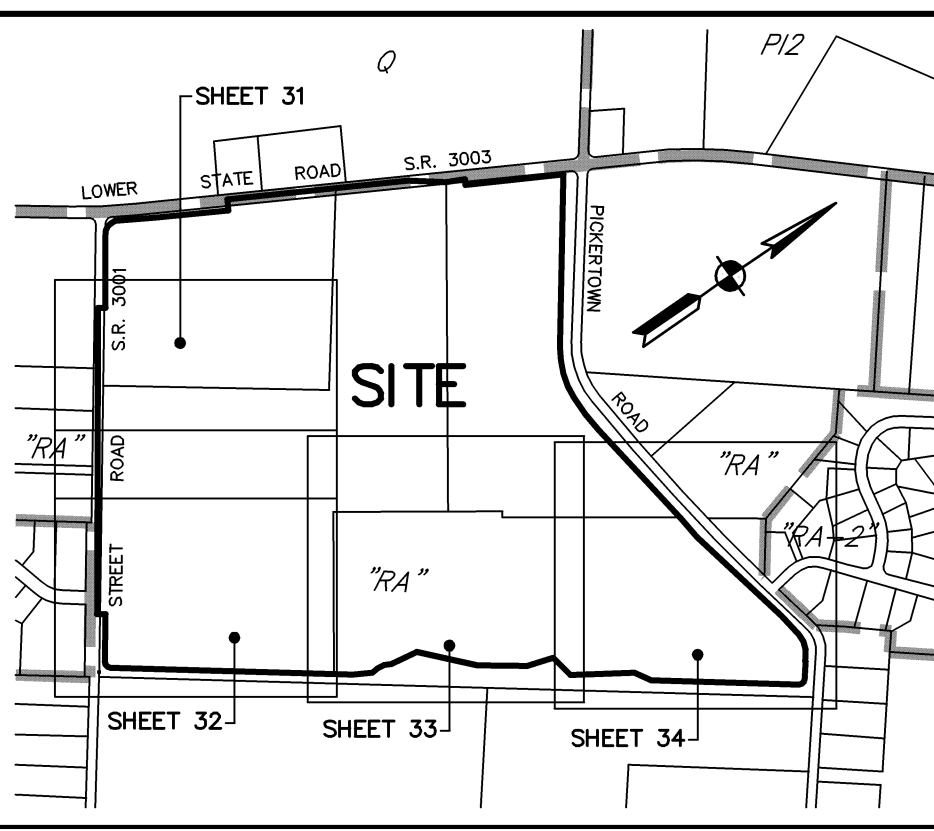
THE FOLLOWING STORMWATER MANAGEMENT BMP SHALL HAVE CONSTRUCTION OVERSIGHT:  
 - INFILTRATION BMP'S D2, 1 AND 4  
 - BIO-RETENTION BASIN A  
 - MRC BASINS B, D1 AND E & BMP C

**RECYCLING STATEMENT**

INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

**SOILS DATA**

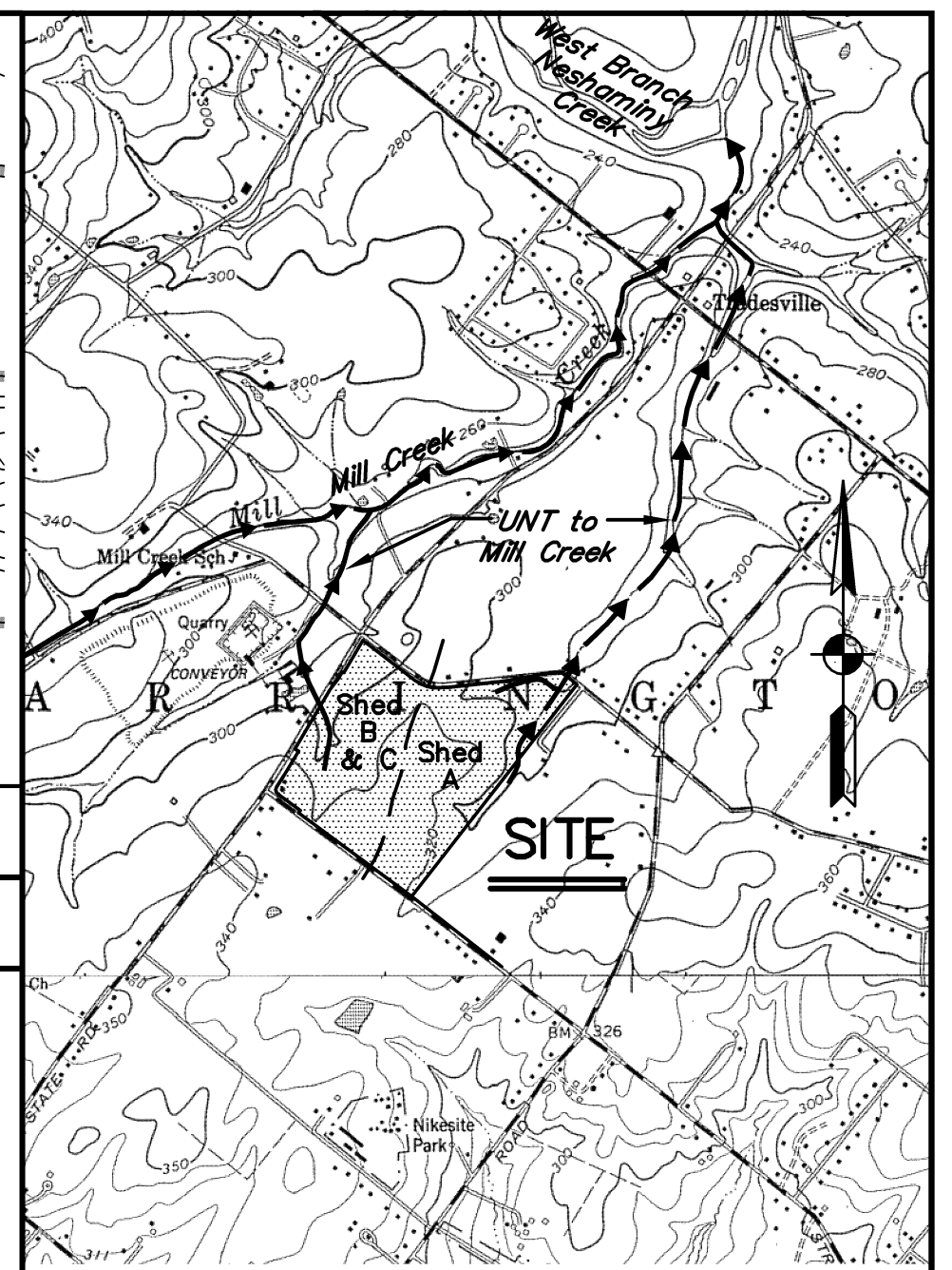
DATA OBTAINED FROM N.R.C.S. SOIL SURVEY:  
 AbA - ABBOTTSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 AbB - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 BbB - BEDDINGTON CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES.  
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 CbA - CHALFONT SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 DdA - DOYLESTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 DdB - DOYLESTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 LkA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 LkB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.  
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 RbB - REAVILLE CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES.



**KEY MAP 1"=800'**

**LEGEND**

- FLOODWAY
- LIMIT OF DISTURBANCE
- NPDES PERMIT BOUNDARY
- BIO-RETENTION DRAINAGE SHED
- TIME OF CONCENTRATION PATH
- X POINT OF INFLUENCE
- BASIN SHED BOUNDARY
- STORMWATER MANAGEMENT AREA
- △ T.P. #1
- AMENDED SOILS/ERNMX-178 (OR EQUAL)
- BASIN SIDE SLOPE/ERNMX-181 (OR EQUAL)
- ROOFTOP DISCONNECTION
- PROTECT EXISTING TREES
- MINIMUM SOIL COMPACTION



SHED A: UNIT TO MILL CREEK IS THE RECEIVING WATERCOURSE IN THE NESHAMINY CREEK WATERSHED. THE CHAPTER 93 CLASSIFICATION IS TSF/MF.  
 SHED B & C: UNIT TO MILL CREEK IS THE RECEIVING WATERCOURSE IN THE NESHAMINY CREEK WATERSHED. THE CHAPTER 93 CLASSIFICATION IS TSF/MF.  
 SCALE: 1"=2000'

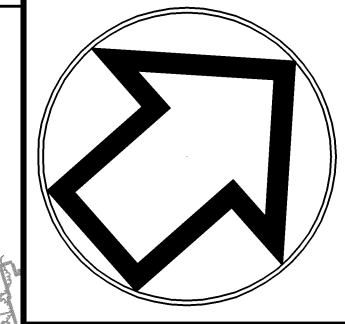
**STORMWATER STATEMENT**

WE ACKNOWLEDGE THE STORMWATER BMP'S AND MANAGEMENT FACILITIES TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP, WHICH SHALL BE RECORDED WITH THE RECORD PLAN AND WHICH SHALL BE APPLICABLE TO ALL FUTURE LANDOWNERS.

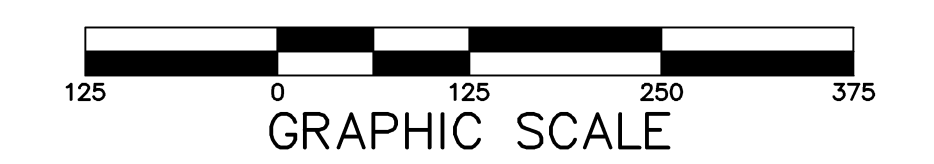
OWNER SIGNATURE

**ENGINEER CERTIFICATION**

I, SUSAN A. RICE, P.E., ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ HAVE REVIEWED AND HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WARRINGTON TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

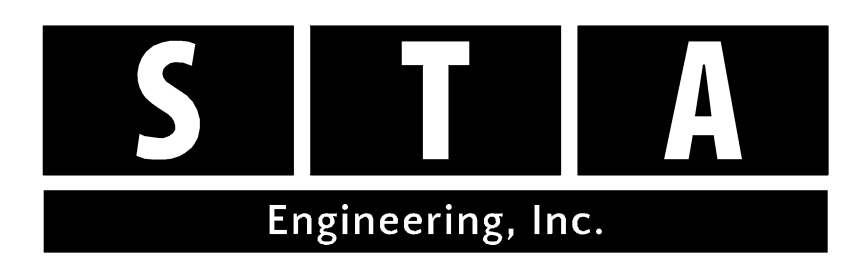


SUSAN A. RICE, P.E.



No.	INT.	REVISIONS	DATE
		PLAN ORIGIN DATE	MAR. 4, 2019

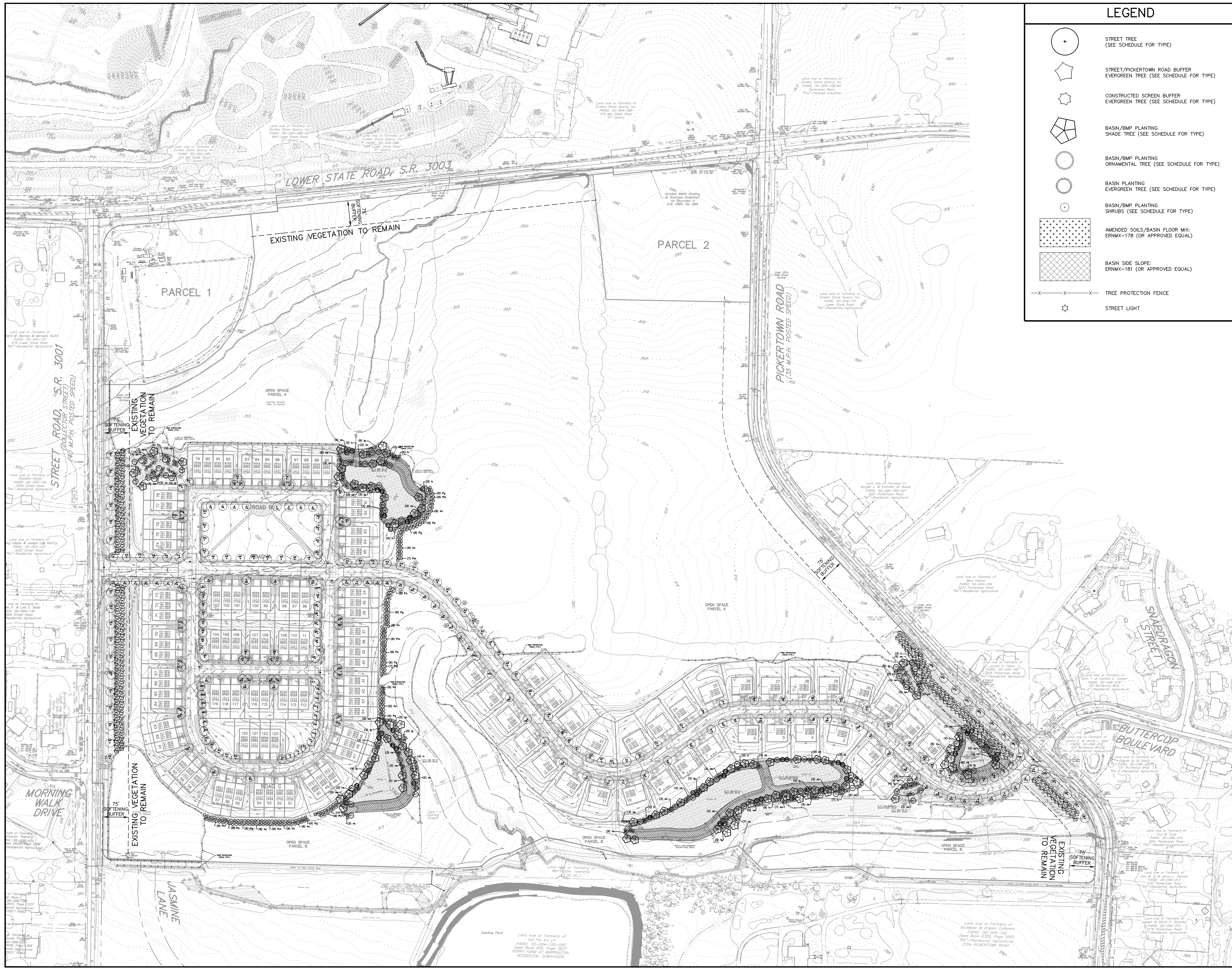
OVERALL PCSM PLAN  
 OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
 SITE SITUATE IN  
 WARRINGTON TOWNSHIP  
 BUCKS COUNTY, PENNSYLVANIA



**Civil Engineers • Land Surveyors**  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.stotac.com

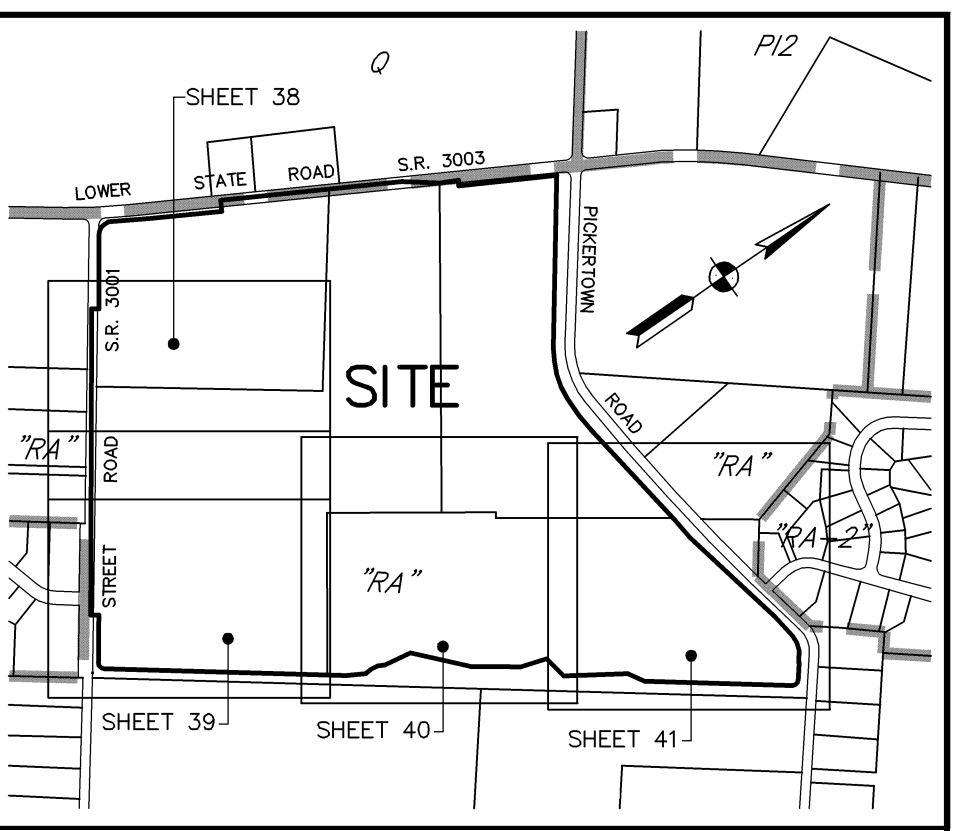
PLAN SCALE HORIZONTAL 1"=125'	DRAFTED BY A.C.H.	PROJECT MANAGER S.A.R.	PLAN SHEET NUMBER 30 OF 67
	PROJECT NUMBER 5707	DRAWING FILE NUMBER 5707PCSM	





### LEGEND

- STREET TREE (SEE SCHEDULE FOR TYPE)
- STREET/PICKERTOWN ROAD BUFFER EVERGREEN TREE (SEE SCHEDULE FOR TYPE)
- CONSTRUCTED SCREEN BUFFER EVERGREEN TREE (SEE SCHEDULE FOR TYPE)
- BASIN/BMP PLANTING SHADE TREE (SEE SCHEDULE FOR TYPE)
- BASIN/BMP PLANTING ORNAMENTAL TREE (SEE SCHEDULE FOR TYPE)
- BASIN PLANTING EVERGREEN TREE (SEE SCHEDULE FOR TYPE)
- BASIN/BMP PLANTING SHRUBS (SEE SCHEDULE FOR TYPE)
- AMENDED SOILS/BASIN FLOOR MIX: ERNMX-178 (OR APPROVED EQUAL)
- BASIN SIDE SLOPE: ERNMX-181 (OR APPROVED EQUAL)
- TREE PROTECTION FENCE
- STREET LIGHT



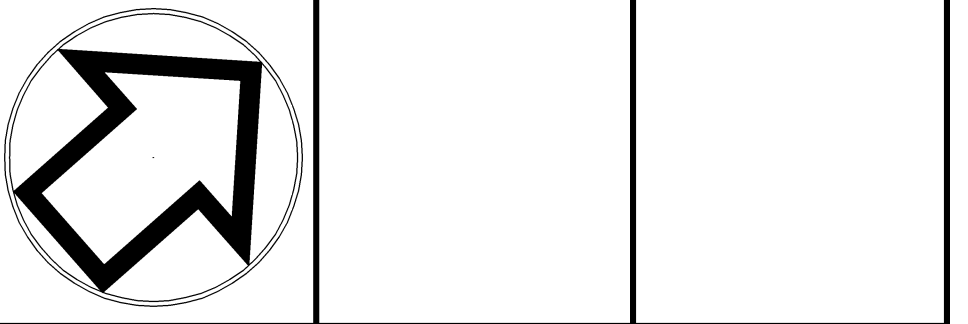
### KEY MAP 1"=800'

### LIGHTING LEGEND

- TYPICAL STREET LIGHT (APPROXIMATE LOCATION)

**R.L.A. CERTIFICATION**  
 I, KEVIN J. STEPHENSON, DO HEREBY CERTIFY THAT THE LANDSCAPE ARCHITECTURAL DESIGN REPRESENTED BY THIS LANDSCAPE PLAN HAS BEEN PREPARED PER PENNSYLVANIA STANDARDS OF PRACTICE OF THE PROFESSION AND IS IN CONFORMANCE WITH THE APPLICABLE MUNICIPAL REQUIREMENTS OF WARRINGTON TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA. THIS CERTIFICATION APPLIES TO THE LANDSCAPE ARCHITECTURAL DESIGN REPRESENTED ON THIS PLAN ONLY AND DOES NOT APPLY TO SITE DESIGN WORK DEVELOPED BY OTHERS.

KEVIN J. STEPHENSON  
 REGISTERED LANDSCAPE ARCHITECT



No.	INT.	REVISIONS	DATE
		PLAN ORIGINATION DATE	MAR. 4, 2019

**PCSM OVERALL LANDSCAPE & LIGHTING PLAN**  
 OF THE  
**EUREKA STONE QUARRY, INC. TRACT**  
 SITE SITUATE IN  
 WARRINGTON TOWNSHIP  
 BUCKS COUNTY, PENNSYLVANIA

**S T A**  
 Engineering, Inc.  
**Civil Engineers • Land Surveyors**  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	A.C.H.	S.A.R.	
1"=125'	PROJECT NUMBER	DRAWING FILE NUMBER	
	5707	5707LA	37 OF 67

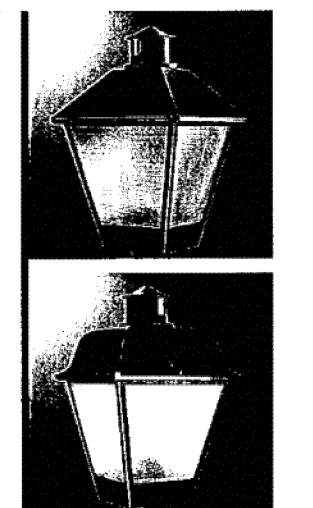


**DESCRIPTION**  
This category LED outdoor luminaires displays the old-fashioned charm of traditional lantern-type post top lighting, enhancing any setting with distinctive styling. As a decorative luminaire, this category LED luminaire complements the architectural and environmental design of parks and landscapes. It's patented LIGHTBAR™ technology delivers uniform and efficient illumination to pedestrian and roadway applications.

**Streetworks**

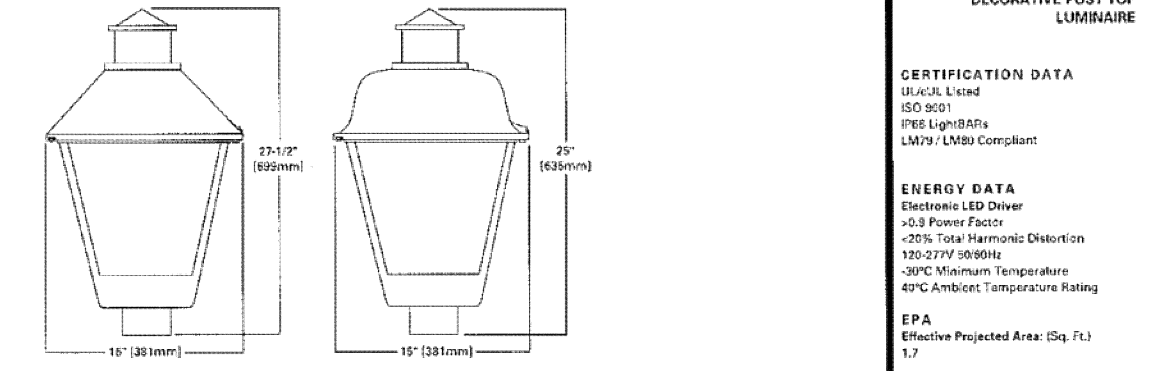
Order #	Rev
Project	Date
Comments	
Prepared by	

**SPECIFICATION FEATURES**  
Construction: COP Rugged die-cast aluminum top with copoly cover. SCRWVSS: Chrome plated brass. HDS/SS/NS: Die-cast aluminum base housing. Standard color is black. Other finish colors available. Consult your Streetworks representative. 1" A/VG mounting hardware included.  
Optics: Choice of symmetric or asymmetric distributions with refractive lens available. Clear lens available. 4000K CCT (4-275K). 4000K CCT (4-275K). Minimum 50,000 hours compliance with IESNA TM-30.  
Electrical: LED drivers are pulsed and equipped with heat sinks for optimal performance and prolonged life. Standard optoelectronic feature electronic universal voltage (150V-270V/50-60Hz), greater than 0.5% power factor, and operating temperature range from -30°C to +40°C. Includes surge protection for transient line surges up to 10kV. Standard three-position luminaire type terminal block. System is rated for 80% lifetime maintenance at 60,000 hours compliance with IESNA TM-30.  
Mounting: Self-aligning pole-top filler fits 2.5" and 3" O.D. poles. Square headed 1/2" polymer coated mounting bolts.  
Finish: Cast components finished in a Super durable black TOE polyester powder coat paint, 2.0 mil nominal thickness for superior protection against fade and wear. Optional colors include bronze, grey and white. RFL and custom color matches available.  
Warranty: Five-year warranty.



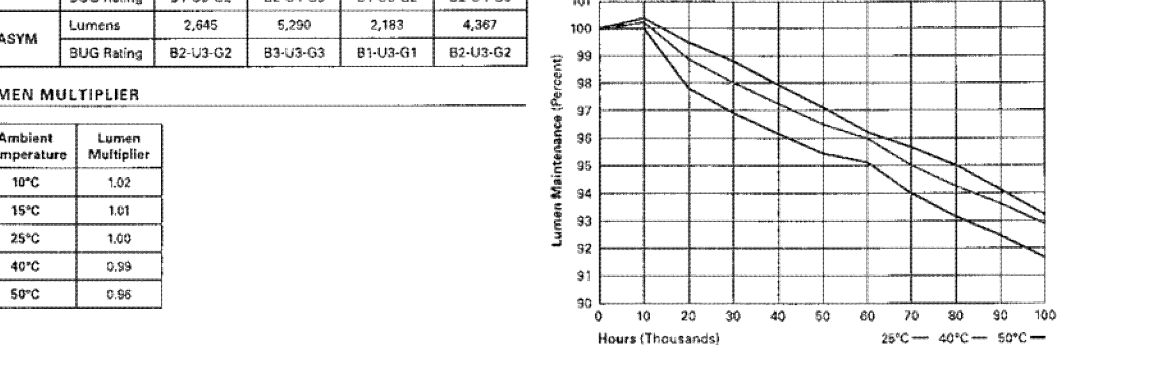
**LXF/LXT LEXINGTON LED**

1 LightBAR-20W (Non-flood)  
2 LightBAR-52W (Non-flood)  
DECORATIVE POST TOP LUMINAIRE



**POWER AND LUMENS**

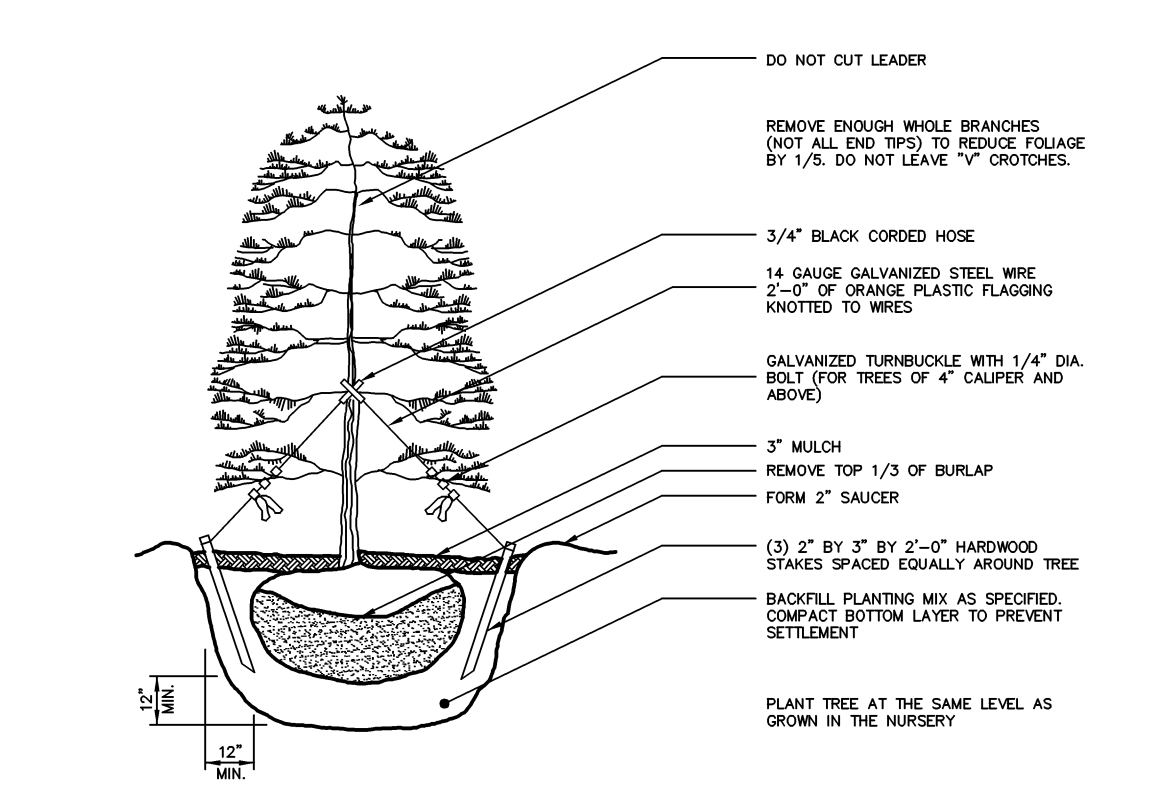
Number of LightBARs	E1	E2	F1	F2
LightBAR Type	4 Base (11 LED)	4 Base (17 LED)	4 Base (17 LED)	4 Base (17 LED)
Power (Watts)	70W	100W	200W	55W



**ORDERING INFORMATION**

Product Family	Number of LightBARs	Mounting Type	Drive	Voltage	Distribution
LXF-Lexington LXT-Lexington on Traditional Top	4 (11 LED) 4 (17 LED) 4 (17 LED) 4 (17 LED)	LED-Style Base LED-Style Base LED-Style Base LED-Style Base	Electronic Electronic Electronic Electronic	UL-Universal (100-277V)	SIM-Symmetric ASIM-Asymmetric

- 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPT-2015-01 for additional support information.
- 2. LED light output is based on 2700K.
- 3. Standard fixture CCT and beam angle is 4000K.
- 4. Consult factory for beam angle options.
- 5. Mounting hardware sold separately.
- 6. Lead time for custom color finish is 4-6 weeks.
- 7. Lead time for custom finish is 4-6 weeks.
- 8. Lead time for custom finish is 4-6 weeks.
- 9. Only available in quantities upon special order. Contact factory for pricing details.



**TYPICAL EVERGREEN TREE PLANTING DETAIL**

**TYPICAL DECIDUOUS TREE PLANTING DETAIL**

**PLANT SCHEDULE & CALCULATIONS**

**STREET TREES**  
STREET TREES SHALL BE PLANTED NO CLOSER THAN 40 FEET ON CENTER NOR FURTHER THAN 50 FEET ON CENTER FOR EACH SIDE OF THE STREET  
STREET ROAD, S.R. 3001 - 1,330 L.F. REQUIRES 27 TREES (17 PROP + EXISTING TO REMAIN)  
PICKERTOWN ROAD 625 L.F. REQUIRES 13 TREES  
ROAD A - 6,100 L.F. REQUIRES 122 TREES  
ROAD C - 1,650 L.F. REQUIRES 33 TREES  
ROAD D - 2,720 L.F. REQUIRES 54 TREES  
ROAD E - 800 L.F. REQUIRES 16 TREES

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
AR	ACER RUBRUM	RED MAPLE	3" CAL.	B&B	45
PA	PLATANUS ACERIFOLIA	LONDON PLANE TREE	3" CAL.	B&B	40
RO	ROTUNDILOBA	VAR. ROTUNDILOBA	3" CAL.	B&B	62
OC	QUERCUS COCINEA	SCARLET OAK	3" CAL.	B&B	32
OP	QUERCUS PHELLOS	MELLOW OAK	3" CAL.	B&B	35
TA	TILIA AMERICANA	AMERICAN LINDEN	3" CAL.	B&B	41
<b>TOTAL: 255</b>					

**CONSTRUCT SCREEN BUFFER**  
TWO (2) ROWS OF EVERGREEN TREES SPACED AT 10 FEET ON CENTER AND OFFSET 5 FEET

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>EVERGREEN TREES</b>					
AC	ABIES CONCOLOR	CONCOLOR FIR	8" HT.	B&B	46
PA	PICEA ABIES	NORWAY SPRUCE	8" HT.	B&B	54
PG	PICEA GLAUCA	WHITE SPRUCE	8" HT.	B&B	48
PM	PSUEDOTSUGA MENZIESII	DOUGLAS FIR	8" HT.	B&B	53
<b>TOTAL: 201</b>					

**STREET ROAD - BERM PLANTING**

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>EVERGREEN TREES</b>					
AC	ABIES CONCOLOR	CONCOLOR FIR	8" HT.	B&B	23
PA	PICEA ABIES	NORWAY SPRUCE	8" HT.	B&B	27
PG	PICEA GLAUCA	WHITE SPRUCE	8" HT.	B&B	25
PM	PSUEDOTSUGA MENZIESII	DOUGLAS FIR	8" HT.	B&B	30
<b>TOTAL: 105</b>					

**PICKERTOWN ROAD - BERM PLANTING**

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>EVERGREEN TREES</b>					
AC	ABIES CONCOLOR	CONCOLOR FIR	8" HT.	B&B	27
PA	PICEA ABIES	NORWAY SPRUCE	8" HT.	B&B	20
PG	PICEA GLAUCA	WHITE SPRUCE	8" HT.	B&B	20
PM	PSUEDOTSUGA MENZIESII	DOUGLAS FIR	8" HT.	B&B	21
<b>TOTAL: 88</b>					

**BASIN A**  
ONE SHADE TREE\* AND TWO SHRUBS FOR EACH 30 L.F. OF BASIN PERIMETER.  
\* UP TO 50% OF THE SHADE TREES MAY BE SUBSTITUTED WITH AN OPTION OF TWO FLOWERING TREES OR EVERGREEN TREES, OR 10 SHRUBS FOR EVERY SHADE TREE.  
750 L.F. REQUIRES:  
17 TREES  
8 FLOWERING TREES  
8 EVERGREEN TREES  
50 SHRUBS

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
AR	ACER RUBRUM	RED MAPLE	3" CAL.	B&B	6
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	6
NS	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B&B	5
<b>TOTAL: 17</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	3
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	2
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	3
<b>TOTAL: 8</b>					
<b>EVERGREEN TREES</b>					
IO	ILEX OPACA	AMERICAN HOLLY	8" HT.	B&B	4
PS	PINUS STROBUS	EASTERN WHITE PINE	8" HT.	B&B	4
<b>TOTAL: 8</b>					
<b>SHRUBS</b>					
oo	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18-24" HT.	B&B	12
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	9
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	9
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	7
vt	VBURNUM ACERIFOLIUM	MAPLELEAF VBURNUM	18-24" HT.	B&B	9
<b>TOTAL: 50</b>					

**BASIN B**  
ONE SHADE TREE\* AND TWO SHRUBS FOR EACH 30 L.F. OF BASIN PERIMETER.  
\* UP TO 50% OF THE SHADE TREES MAY BE SUBSTITUTED WITH AN OPTION OF TWO FLOWERING TREES OR EVERGREEN TREES, OR 10 SHRUBS FOR EVERY SHADE TREE.  
790 L.F. REQUIRES:  
16 TREES  
10 FLOWERING TREES  
10 EVERGREEN TREES  
53 SHRUBS

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
AR	ACER RUBRUM	RED MAPLE	3" CAL.	B&B	5
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	5
NS	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B&B	5
<b>TOTAL: 15</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	4
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	3
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	3
<b>TOTAL: 10</b>					
<b>EVERGREEN TREES</b>					
IO	ILEX OPACA	AMERICAN HOLLY	8" HT.	B&B	5
PS	PINUS STROBUS	EASTERN WHITE PINE	8" HT.	B&B	5
<b>TOTAL: 10</b>					
<b>SHRUBS</b>					
om	ARONIA MELANOCARPA	BLACK CHOKEBERRY	18-24" HT.	B&B	13
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	5
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	9
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	10
vt	VBURNUM TRILOBUM	AMERICAN CRANBERRY	18-24" HT.	B&B	10
<b>TOTAL: 53</b>					

**BASIN D1/D2**  
ONE SHADE TREE\* AND TWO SHRUBS FOR EACH 30 L.F. OF BASIN PERIMETER.  
\* UP TO 50% OF THE SHADE TREES MAY BE SUBSTITUTED WITH AN OPTION OF TWO FLOWERING TREES OR EVERGREEN TREES, OR 10 SHRUBS FOR EVERY SHADE TREE.  
1,440 L.F. REQUIRES:  
33 TREES  
14 FLOWERING TREES  
16 EVERGREEN TREES  
96 SHRUBS

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
AR	ACER RUBRUM	RED MAPLE	3" CAL.	B&B	11
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	11
NS	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B&B	11
<b>TOTAL: 33</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	5
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	5
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	4
<b>TOTAL: 14</b>					
<b>EVERGREEN TREES</b>					
IO	ILEX OPACA	AMERICAN HOLLY	8" HT.	B&B	8
PS	PINUS STROBUS	EASTERN WHITE PINE	8" HT.	B&B	8
<b>TOTAL: 16</b>					
<b>SHRUBS</b>					
oo	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18-24" HT.	B&B	23
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	19
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	15
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	21
vt	VBURNUM ACERIFOLIUM	MAPLELEAF VBURNUM	18-24" HT.	B&B	18
<b>TOTAL: 96</b>					

**BASIN E**  
ONE SHADE TREE\* AND TWO SHRUBS FOR EACH 30 L.F. OF BASIN PERIMETER.  
\* UP TO 50% OF THE SHADE TREES MAY BE SUBSTITUTED WITH AN OPTION OF TWO FLOWERING TREES OR EVERGREEN TREES, OR 10 SHRUBS FOR EVERY SHADE TREE.  
450 L.F. REQUIRES:  
13 TREES  
4 FLOWERING TREES  
6 EVERGREEN TREES  
30 SHRUBS

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
AR	ACER RUBRUM	RED MAPLE	3" CAL.	B&B	4
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	3
NS	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B&B	3
<b>TOTAL: 10</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	1
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	1
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	2
<b>TOTAL: 4</b>					
<b>EVERGREEN TREES</b>					
IO	ILEX OPACA	AMERICAN HOLLY	8" HT.	B&B	3
PS	PINUS STROBUS	EASTERN WHITE PINE	8" HT.	B&B	3
<b>TOTAL: 6</b>					
<b>SHRUBS</b>					
om	ARONIA MELANOCARPA	BLACK CHOKEBERRY	18-24" HT.	B&B	3
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	9
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	9
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	4
vt	VBURNUM TRILOBUM	AMERICAN CRANBERRY	18-24" HT.	B&B	5
<b>TOTAL: 30</b>					

**BMP 1**

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	3
<b>TOTAL: 3</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	2
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	3
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	2
<b>TOTAL: 7</b>					
<b>SHRUBS</b>					
oo	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18-24" HT.	B&B	8
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	8
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	5
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	8
vt	VBURNUM TRILOBUM	AMERICAN CRANBERRY	18-24" HT.	B&B	8
<b>TOTAL: 27</b>					

**BMP 4**

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	1
<b>TOTAL: 1</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	2
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	3
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5-2" CAL	B&B	2
<b>TOTAL: 7</b>					
<b>SHRUBS</b>					
oo	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18-24" HT.	B&B	8
cs	CORNUS SERICA	REDOSEER DOGWOOD	18-24" HT.	B&B	8
ig	ILEX GLABRA	INKBERRY	18-24" HT.	B&B	5
iv	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	B&B	8
vt	VBURNUM TRILOBUM	AMERICAN CRANBERRY	18-24" HT.	B&B	8
<b>TOTAL: 27</b>					

**BMP C**

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
<b>SHADE TREES</b>					
BN	BETULA NIGRA	RIVER BIRCH	3" CAL.	B&B	1
<b>TOTAL: 1</b>					
<b>ORNAIMENTAL TREES</b>					
AC	AMELANCHIER CANADENSIS	SHADBLW SERVICEBERRY	1.5-2" CAL	B&B	1
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5-2" CAL	B&B	1